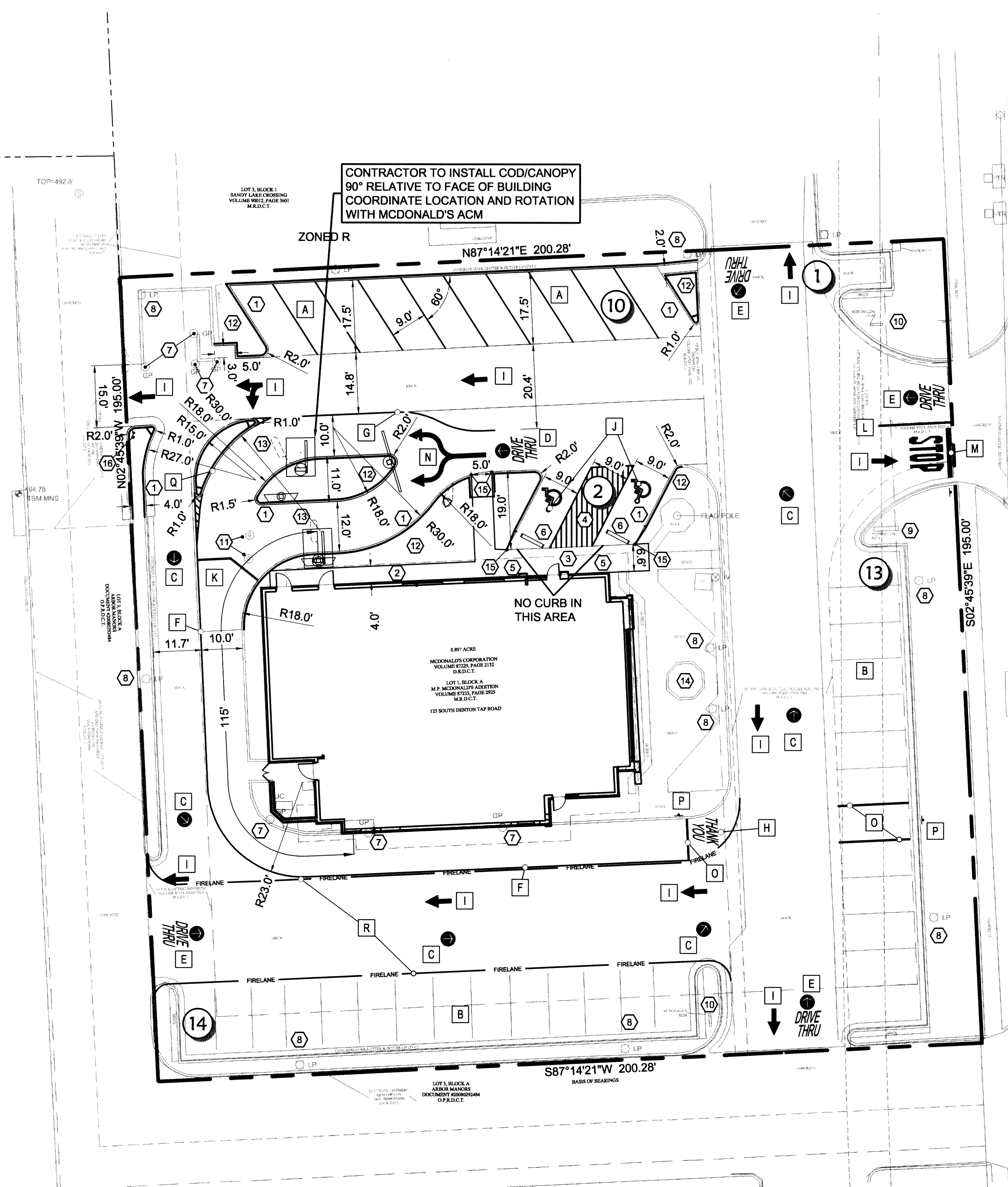


FULL PATH: I:\projects\2013\1212 McDonalds - Coppel, TX (12) Denver Tap Rd\Drawings\C3.0 SITE PLAN
 PLOT DATE: Friday, April 26, 2013
 PLOT TIME: 10:58:19 AM
 PLOTTED BY: Jeffrey Memon
 FILENAME: C3 SITE PLAN.dwg



CONTRACTOR TO INSTALL COD/CANOPY 90° RELATIVE TO FACE OF BUILDING COORDINATE LOCATION AND ROTATION WITH MCDONALD'S ACM

ZONED R

N87°14'21"E 200.28'

S87°14'21"W 200.28'

S102°45'39"E 195.00'

N02°45'39"W 195.00'

NO CURB IN THIS AREA

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STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

- ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
- EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 90° (MIN) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
- ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.
- CURB RAMPS:**
- RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
- BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 6'-0" WIDE MINIMUM.
- RAMPS SHALL NOT EXCEED A 1:12 SLOPE
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- SIDEWALKS MUST BE AT LEAST 36" WIDE
- SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
- LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

BENCHMARK DESCRIPTION

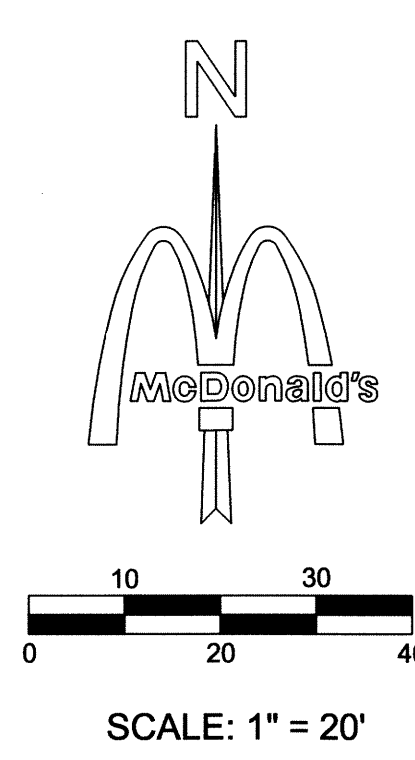
TEMPORARY BENCHMARK SET MAG NAIL AND WASHER STAMPED "JPH LAND SURVEYING" SET IN A CONCRETE CURB INLET 240' WEST OF SOUTH DENTON TAP ROAD, AND 60' SOUTHWESTERLY OF THE NORTHWEST PROPERTY CORNER OF THE MCDONALD'S PROPERTY. ELEVATION = 494.78'

NOTICE TO CONTRACTOR

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

SOUND LEVELS OF C.O.D. SPEAKER

DISTANCE FROM OUTSIDE SPEAKER	DECIBEL LEVEL OF STANDARD SYSTEM WITH 45 DB OF OUTSIDE NOISE WITH AUTOMATIC VOLUME CONTROL
1 FOOT	60 DBA
2 FEET	54 DBA
4 FEET	48 DBA
8 FEET	42 DBA
16 FEET	36 DBA



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
 GREATER-SOUTHWEST REGION
 511 E. CARPENTER FRWY, STE. 375
 IRVING, TEXAS 75062
 (972) 869-5348
 CONTACT: LEE MORRIS

HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLD WIDE COMPANY, OAKBROOK, IL PH#: 1-800-937-7671

SITE INFORMATION

EXISTING ZONING:	RETAIL
PROPOSED USE:	RESTAURANT
SQUARE FOOTAGE OF PROPOSED USE:	39,073 SF @ 0.897 AC
BUILDING AREA (APPROXIMATE):	4,996 SF
BUILDING HEIGHT:	19'-11"
PARKING REQUIRED:	1 SPACE PER 100 SF
	4,996 SF / 100 SF = 50 SPACES
EXISTING PARKING:	40 SPACES
PROPOSED PARKING:	40 SPACES

NOTE

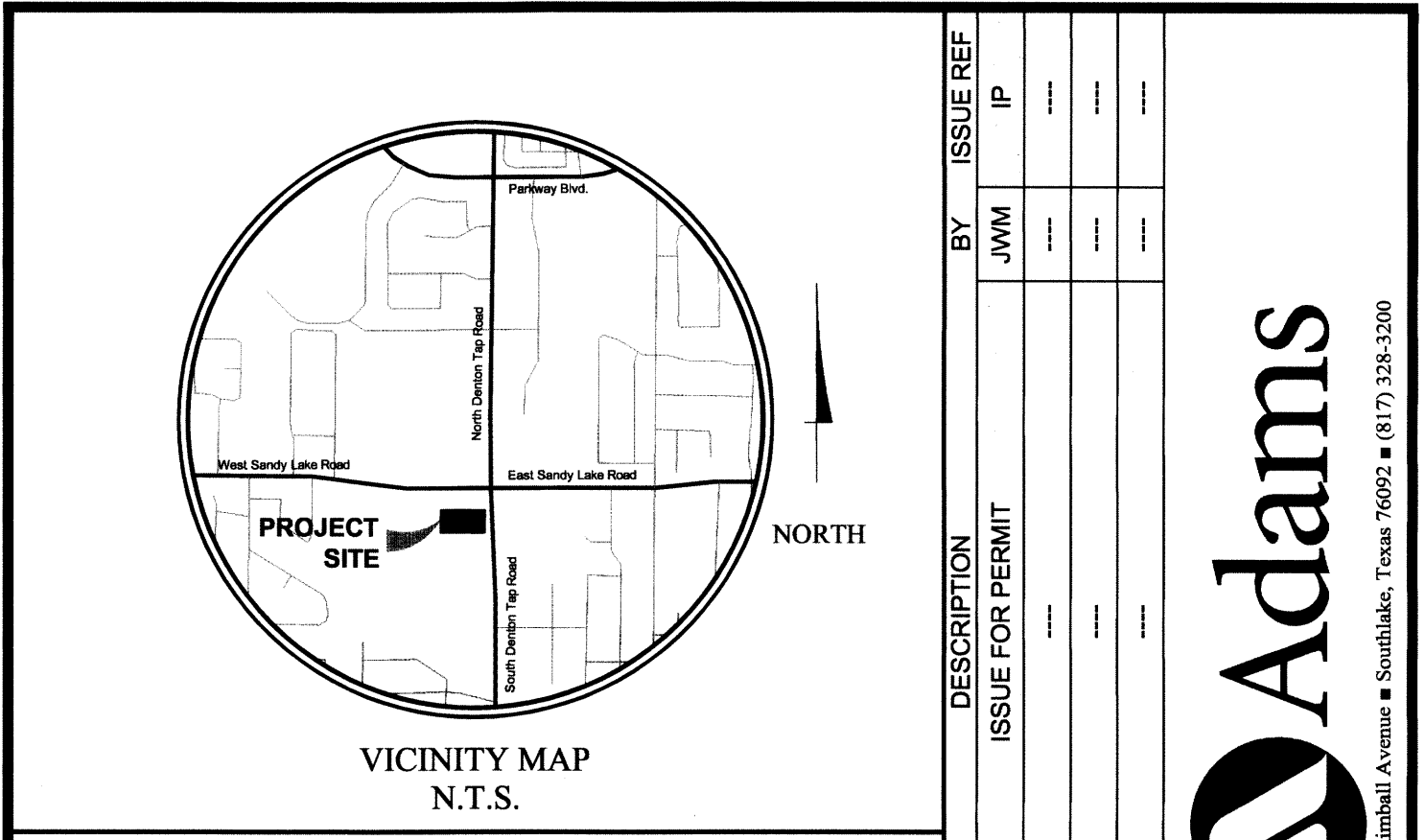
OWNER SHALL PROVIDE PORTABLE SIGNAGE NOTIFYING CUSTOMERS THAT THE INNER LANE IS CLOSED BETWEEN 11PM AND 5AM

CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
1	CURB AND GUTTER @ NON DRIVE THRU AREAS (RE: C6.2 STANDARD DETAILS)
2	REINFORCED CONCRETE SIDEWALK (RE: C6.3 STANDARD DETAILS)
3	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE (RE: C6.1 STANDARD DETAILS)
4	HANDICAP ACCESSIBLE ROUTE R = 42 dba
5	HANDICAP ACCESSIBLE SIGN (BUILDING MOUNTED) (RE: C6.1 STANDARD DETAILS)
6	CONCRETE WHEEL STOP (RE: C6.3 STANDARD DETAILS)
7	EXISTING BOLLARD TO REMAIN
8	EXISTING LIGHT STANDARD TO REMAIN
9	EXISTING ROAD SIGN TO REMAIN
10	EXISTING MCDONALD'S DIRECTIONAL SIGN TO REMAIN
11	EXISTING GREASE INTERCEPTOR TO REMAIN (ADJUST MH RIMS TO NEW GRADE)
12	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
13	DETECTOR LOOP LOCATION TO BE APPROVED BY MCDONALD'S (RE: C6.0 STANDARD DETAILS)
14	EXISTING FOUNTAIN TO REMAIN
15	TRANSITION CURB (RE: C6.3 STANDARD DETAILS)
16	"DO NOT ENTER" SIGN WITH POLE AND MOUNTING HARDWARE

DRIVE THRU STRIPING SCHEDULE

MARK	MARK DESCRIPTION
A	4" PARKING STALL STRIPING - PAINT COLOR: WHITE (TYP)
B	EXISTING 4" PARKING STALL STRIPING
C	"CIRCLE / ARROW" - THERMOPLASTIC COLOR: YELLOW
D	"DRIVE THRU" WITH "ARROW" - PAINT COLOR: YELLOW
E	"DRIVE THRU" WITH "ARROW" - THERMOPLASTIC COLOR: YELLOW
F	6" DRIVE-THRU STRIPING - BRICK PAVERS COLOR: YELLOW
G	6" DRIVE-THRU STRIPING - PAINT COLOR: YELLOW
H	"THANK YOU" AT END PATH - THERMOPLASTIC COLOR: YELLOW
I	ARROW PATH DIRECTION - THERMOPLASTIC COLOR: WHITE
J	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - PAINT COLOR: (PER STATE/CITY REQUIREMENTS)
K	6" MERGE POINT - PAINT COLOR: YELLOW
L	4" DOUBLE LANE DIVIDER STRIPING - BRICK PAVERS COLOR: YELLOW (TYP)
M	PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - THERMOPLASTIC COLOR: WHITE
N	DOUBLE DRIVE-THRU "ARROW" MARKING - PAINT COLOR: YELLOW
O	6" OOSP-PULL FORWARD PARKING STALL STRIPING-BRICK PAVER COLOR YELLOW (TYP)
P	OOSP PULL-FORWARD SIGN (IN GROUND)
Q	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - PAINT COLOR: YELLOW
R	FIRE LANE STRIPING - BRICK PAVER COLOR: RED (PER CITY REQUIREMENTS)



GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- 3/4" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and crouching.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at ground level.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction within easements and R.O.W. shall conform to all governing authority's jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by JPH Land Surveying, Inc. The Contractor shall notify the Owner and Engineer if any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (ps&es), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION

VERIFY MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID

PAVEMENT MATERIALS	HEAVY DUTY
Portland Cement Concrete PAVT	7"
Granular Sub-Base	6"

- PAVEMENT NOTES:**
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE ORIGINAL GEOTECHNICAL REPORT.
 - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 96 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 6 INCHES BELOW THE SURFACE. PER THE ORIGINAL GEOTECH REPORT.
 - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF COPPELL, NORTH TEXAS COUNCIL OF GOVERNMENTS AND/OR THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
 - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
 - REFER TO C6.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
 - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C. E-W.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REFER TO ORIGINAL GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION. THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE ORIGINAL GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/CONCRETE REQUIREMENTS.

SURVEY INFORMATION

PREPARED BY: JPH LAND SURVEYING, INC
 807 BLISSBONNET DRIVE, SUITE C
 KELLER, TEXAS 76248
 (817) 431-4971
 DATE: 01/19/2013

LEGAL DESCRIPTION:
 LOT 1, BLOCK A, M.P. MCDONALD'S ADDITION
 AN ADDITION TO THE CITY OF COPPELL,
 DALLAS COUNTY, TEXAS RECORDED IN
 VOLUME 87233, PAGE 2925 M.R.D.C.T.

PLAN SCALE: 1" = 20'

ADDITION

M.P. MCDONALD'S
 STREET ADDRESS

125 SOUTH DENTON TAP ROAD
 CITY STATE

COPPELL TEXAS

COUNTY:	SURVEY:	ABSTRACT NO.
DALLAS	---	---

L/C NUMBER: 042-0496

CORPORATE DWG. NAME: SITE PLAN

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	4-18-2013	ISSUE FOR PERMIT	JWM	IP

STATE OF TEXAS
 TED A. MURDAY
 91918
 LICENSED PROFESSIONAL ENGINEER
 4-26-13

MCDONALD'S
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

125 SOUTH DENTON TAP ROAD
 COPPELL, TEXAS

OFFICE: GREATER SOUTHWEST REGION
 ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60021

REGIONAL MGR.
 CONST. MGR.
 OPERATIONS DEPT.
 REAL ESTATE DEPT.

CONTRACTOR OWNER

STATUS: DATE DRAWN: 3-20-2013 BY: JWM

DATE CHECKED: AS-BUILT

C-SIGN SIGNATURES

CONTRACTOR OWNER

ADAMS ENGINEERING No. 2013-012
 MCDONALD'S L.C. 042-0496
 TBPB Registration #: F-1002

ADAMS ENGINEERING No. 2013-012

CONTRACTOR OWNER



C3.0