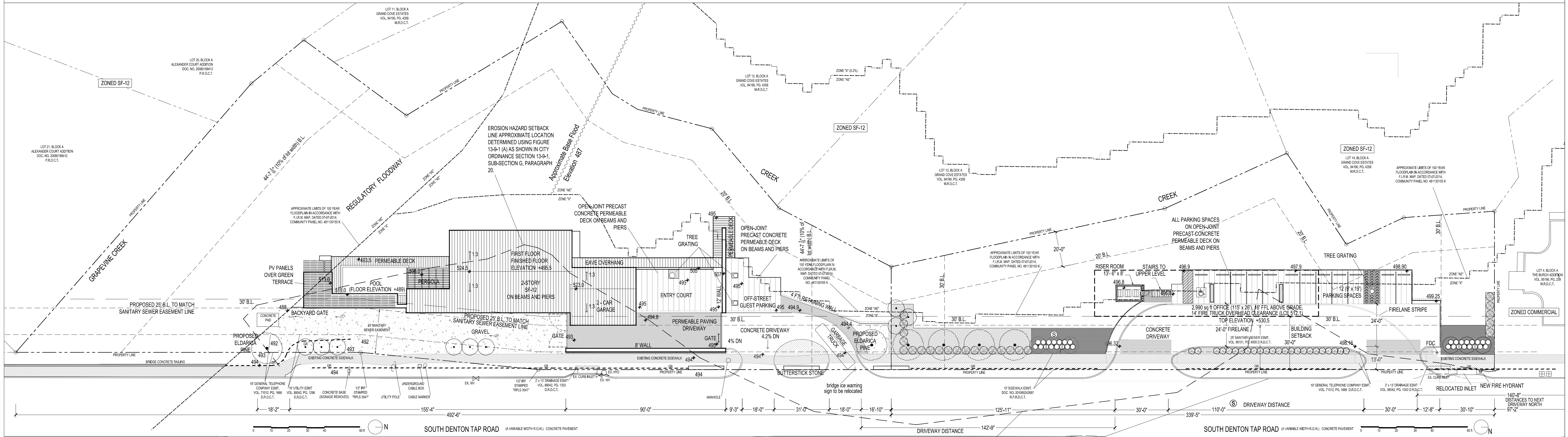


COVERAGE IN GREY INCLUDES EXISTING SIDEWALK WITHIN PROPERTY LINES

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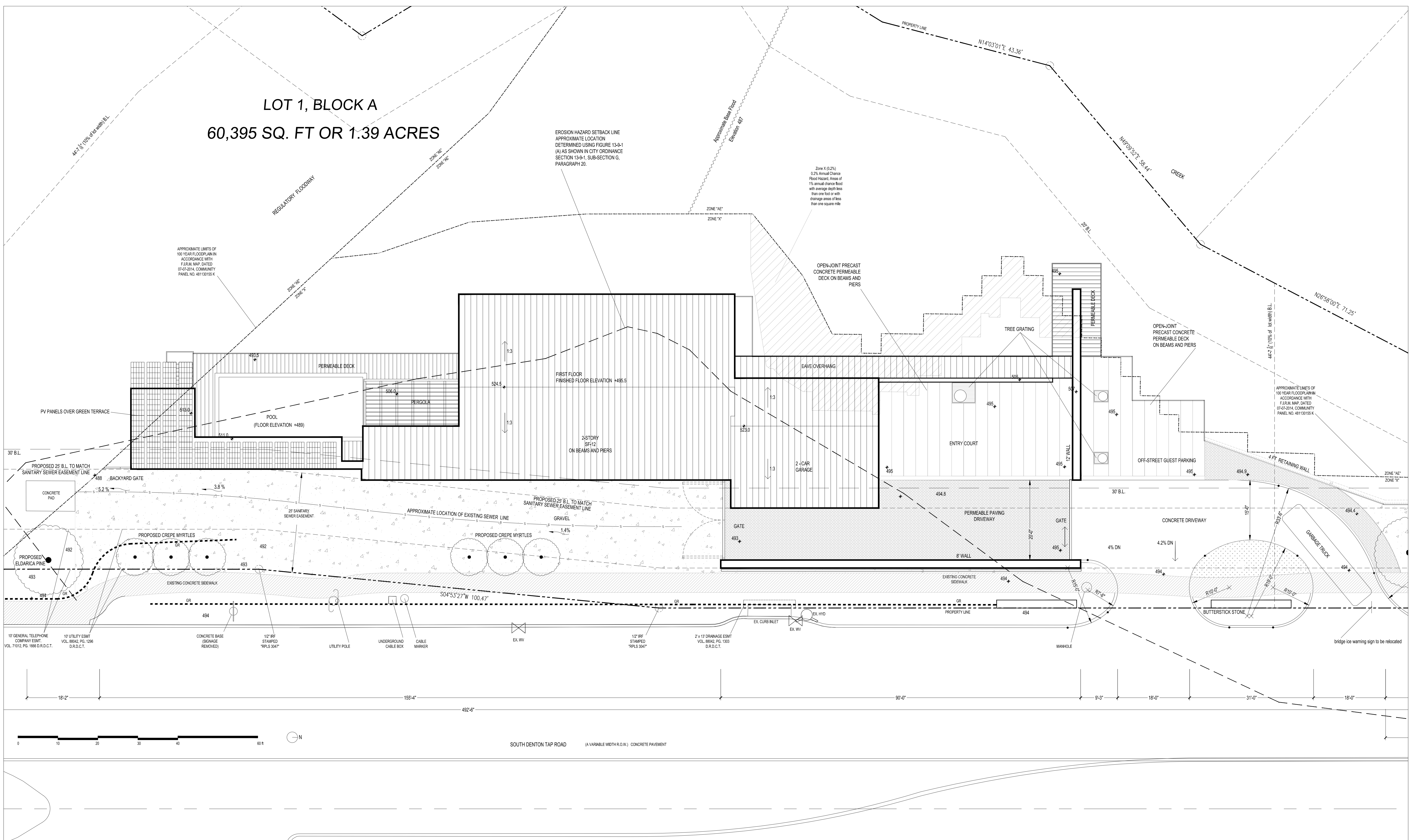
SITE COVERAGE AND AREAS



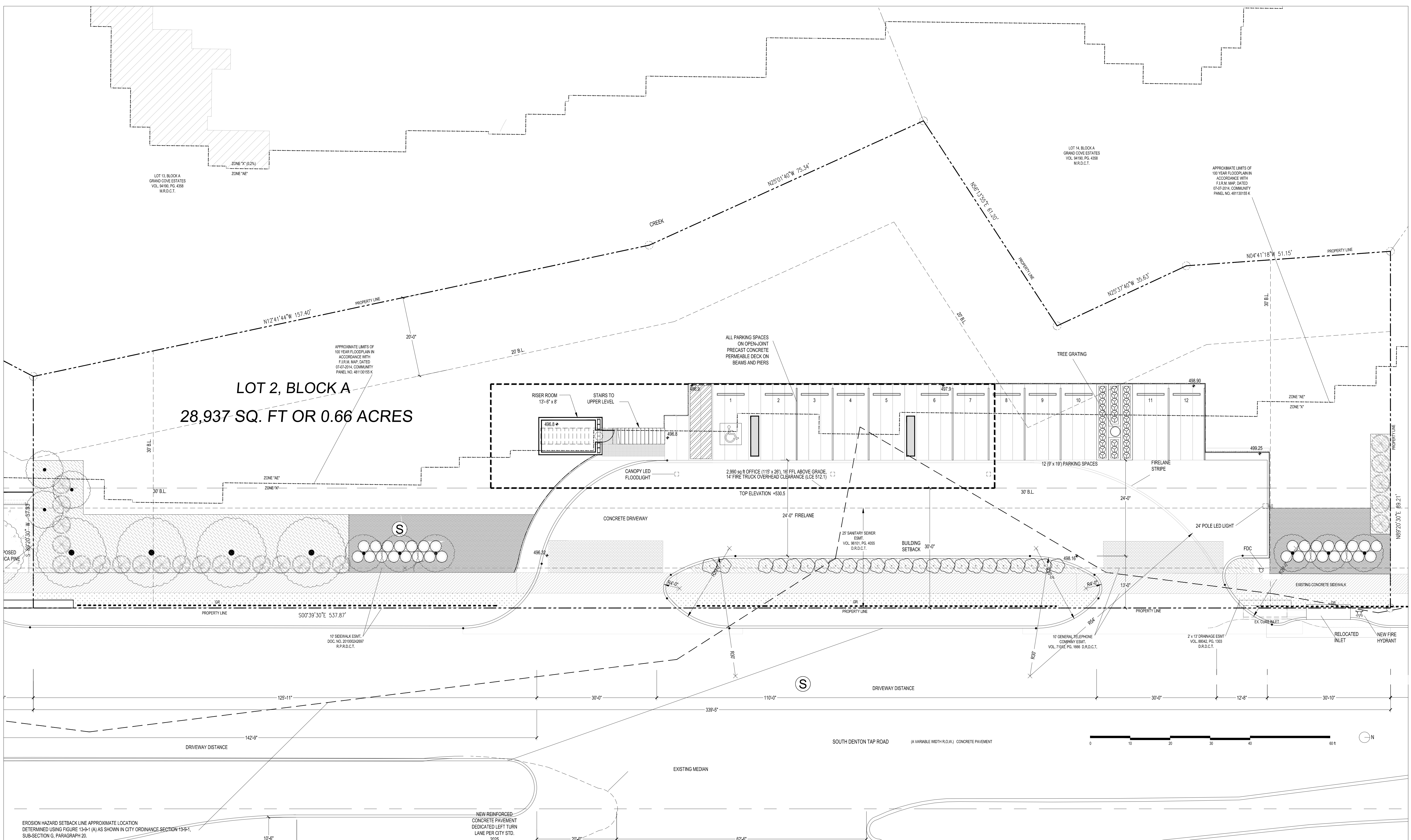
SITE PLAN

<p>SURROUNDING LAND USE & ZONING:</p> <p>North: Commercial East: Commercial, Religious South: SF-12 Residential West: SF-12 Residential</p>	<p>PLANNED DEVELOPMENT CONDITIONS:</p> <ol style="list-style-type: none"> No Alley for residential. To allow for a front yard of 25-ft in lieu of 30-ft for Lot 1, Block A. To allow for a permeable paved driveway for Lot 1, Block A. To waive the screening wall requirement between Lot 1 and 2. To allow the existing trees to act as a living screening between Lot 2 and the adjacent SF lots. To allow for a screening wall in the front yard as shown. To allow for a min lot depth of 57.93 ft on the north side of Lot 1. To allow for a privacy and noise barrier wall within sewer easement. To allow for residential driveway access on S Denton Tap Rd. 	<p>SITE DATA TABLE CURRENT ZONING: COMMERCIAL MAX. LOT COVERAGE: 40% MAX. F.A.R.: 1.0</p> <table border="1"> <tr> <th>LOT 1 PROPOSED USE</th> <th>BUILDING HEIGHT: 31 ft.</th> </tr> <tr> <td>SF-12 RESIDENTIAL 5,118 sq.ft.</td> <td>F.A.R. = 0.0847</td> </tr> <tr> <td>2 enclosed parking spaces required and provided</td> <td></td> </tr> <tr> <td>RESIDENTIAL LOT COVERAGE = 23.4%</td> <td></td> </tr> <tr> <td>FRONT SETBACK 30' REQUIRED, 25' PROPOSED</td> <td></td> </tr> <tr> <td>SIDE SETBACK 10% OF LOT WIDTH REQUIRED, 44'-7 5/16" PROPOSED</td> <td></td> </tr> <tr> <td>REAR SETBACK 20' REQUIRED, 20' PROPOSED</td> <td></td> </tr> </table>	LOT 1 PROPOSED USE	BUILDING HEIGHT: 31 ft.	SF-12 RESIDENTIAL 5,118 sq.ft.	F.A.R. = 0.0847	2 enclosed parking spaces required and provided		RESIDENTIAL LOT COVERAGE = 23.4%		FRONT SETBACK 30' REQUIRED, 25' PROPOSED		SIDE SETBACK 10% OF LOT WIDTH REQUIRED, 44'-7 5/16" PROPOSED		REAR SETBACK 20' REQUIRED, 20' PROPOSED		<p>LOT 2 PROPOSED USE</p> <table border="1"> <tr> <th>PROFESSIONAL OFFICE 3,276 sq.ft.</th> <th>BUILDING HEIGHT: 34 ft.</th> </tr> <tr> <td>11 parking spaces required, 12 parking spaces provided</td> <td></td> </tr> <tr> <td>COMMERCIAL LOT COVERAGE = 35.7%</td> <td>F.A.R. = 0.1132</td> </tr> <tr> <td>FRONT SETBACK 30' REQUIRED, 30' PROPOSED</td> <td></td> </tr> <tr> <td>SIDE SETBACK 30' REQUIRED, 30' PROPOSED</td> <td></td> </tr> <tr> <td>REAR SETBACK 20' REQUIRED, 20' PROPOSED</td> <td></td> </tr> </table>	PROFESSIONAL OFFICE 3,276 sq.ft.	BUILDING HEIGHT: 34 ft.	11 parking spaces required, 12 parking spaces provided		COMMERCIAL LOT COVERAGE = 35.7%	F.A.R. = 0.1132	FRONT SETBACK 30' REQUIRED, 30' PROPOSED		SIDE SETBACK 30' REQUIRED, 30' PROPOSED		REAR SETBACK 20' REQUIRED, 20' PROPOSED		<p>PROPERTY LOCATION</p> <p>597 S DENTON TAP ROAD COPPELL TX 75019 – LOT 1 591 S DENTON TAP ROAD COPPELL TX 75019 – LOT 2 OWNERS J. FERNANDO & ELIANA TERUYA 1056 VILLAGE PKWY COPPELL, TX 75019</p>	<p>07/17/23 ISSUE FOR REZONING</p> <p>PLANNING & ARCHITECTURAL DESIGN CONSULTANTS</p> <p>FTA design studio</p> <p>400 E. Royal Lane, Suite 208 Irving, TX 75039 J. Fernando Teruya, AIA LEED AP fteruya@fernando-teruya.com 214-446-5888</p> <p>FOREST CREEK DEVELOPMENT FOREST CREEK ADDITION Lots 1 & 2, Block A SITE PLAN</p> <p>EDWARD A CROW ABST 301 PG 350 TR 9 ACS 2.05 City of Coppell, Dallas County, Texas</p>
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LOT 1, BLOCK A
60,395 SQ. FT OR 1.39 ACRES



<p>SURROUNDING LAND USE & ZONING:</p> <p>North: Commercial East: Commercial, Religious South: SF-12 Residential West: SF-12 Residential</p>	<p>PLANNED DEVELOPMENT CONDITIONS:</p> <ol style="list-style-type: none"> No Alley for residential. To allow for a front yard of 25-ft in lieu of 30-ft for Lot 1, Block A. To allow for a permeable paved driveway for Lot 1, Block A. To waive the screening wall requirement between Lot 1 and 2. To allow the existing trees to act as a living screening between Lot 2 and the adjacent SF lots. To allow for a screening wall in the front yard as shown. To allow for a min lot depth of 57.93 ft on the north side of Lot 1. 	<ol style="list-style-type: none"> To allow for a privacy and noise barrier wall within sewer easement. To allow for residential driveway access on S Denton Tap Rd. 	<p>SITE DATA TABLE CURRENT ZONING: COMMERCIAL MAX. LOT COVERAGE: 40% MAX. F.A.R.: 1.0</p> <p>LOT 1 PROPOSED USE SF-12 RESIDENTIAL 5,118 sq.ft. BUILDING HEIGHT: 31 ft. 2 enclosed parking spaces required and provided RESIDENTIAL LOT COVERAGE = 23.4% F.A.R. = 0.0847 FRONT SETBACK 30' REQUIRED, 25' PROPOSED SIDE SETBACK 10% OF LOT WIDTH REQUIRED, 44'-7 5/16" PROPOSED REAR SETBACK 20' REQUIRED, 20' PROPOSED</p>	<p>LOT 2 PROPOSED USE PROFESSIONAL OFFICE 3,276 sq.ft. BUILDING HEIGHT: 34 ft. 11 parking spaces required, 12 parking spaces provided COMMERCIAL LOT COVERAGE = 35.7 F.A.R. = 0.1132 FRONT SETBACK 30' REQUIRED, 30' PROPOSED SIDE SETBACK 30' REQUIRED, 30' PROPOSED REAR SETBACK 20' REQUIRED, 20' PROPOSED</p>	<p>PROPERTY LOCATION 597 S DENTON TAP ROAD COPPELL TX 75019 - LOT 1 591 S DENTON TAP ROAD COPPELL TX 75019 - LOT 2 OWNERS J. FERNANDO & ELIANA TERUYA 1056 VILLAGE PKWY COPPELL, TX 75019</p>	<p>07/17/23 ISSUE FOR REZONING</p> <p>SCALE 1"=10'</p>	<p>PLANNING & ARCHITECTURAL DESIGN CONSULTANTS</p> <p>FTA design studio</p> <p>400 E. Royal Lane, Suite 208 Irving, TX 75039 J. Fernando Teruya, AIA LEED AP fteruya@fernando-teruya.com 214-446-5888</p>	<p>FOREST CREEK DEVELOPMENT FOREST CREEK ADDITION Lot 1, Block A SF-12 SITE PLAN</p> <p>EDWARD A CROW ABST 301 PG 350 TR 9 ACS 2.05 City of Coppell, Dallas County, Texas</p>
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LOT 2, BLOCK A
28,937 SQ. FT OR 0.66 ACRES

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