

City of Coppel: Justice Center Reroof Package with TIPS Contract

2022 Reroof Package

Case #0130-01

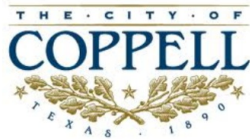
Prepared By
Russell Roberts

Prepared For
Steve Shore

January 17, 2022

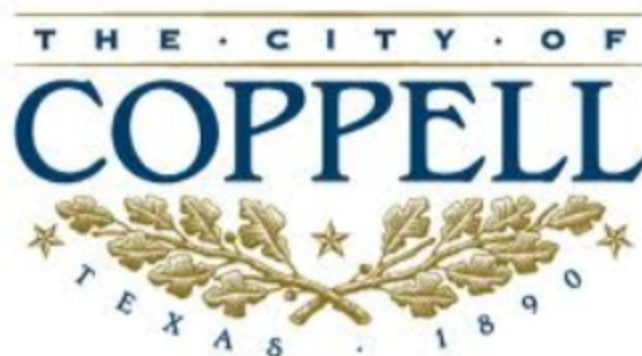
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Client Data

Client: The City of Coppell



Client Data

Name	The City of Coppell		
Address 1	265 Parkway Boulevard		
City	Coppell	State	Texas
ZIP	75019	Country	United States

Contact Info

Contact Person	Steve Shore	Title	Facilities Manager
Mobile Phone:	469-416-8203	Office Phone:	972-462-5152
Email:	sshore@coppelltx.gov		

Client: The City of Coppell

Facility: Justice Center



Facility Data

Address 1	130 Town Center
City	Coppell
State	Texas
ZIP	75019
Type of Facility	Municipal
Contact Person	Andrew Moore

Notes

As requested, The Garland Company has inspected the roofing systems and assemblies associated with the structures located at the above referenced site, and file the following report. At the request of interested parties, The Garland Company was asked to provide a roof conditions investigation of modified bitumen and restoration roofing system installed at 130 Town Center BLVD, Coppell, TX 75019.

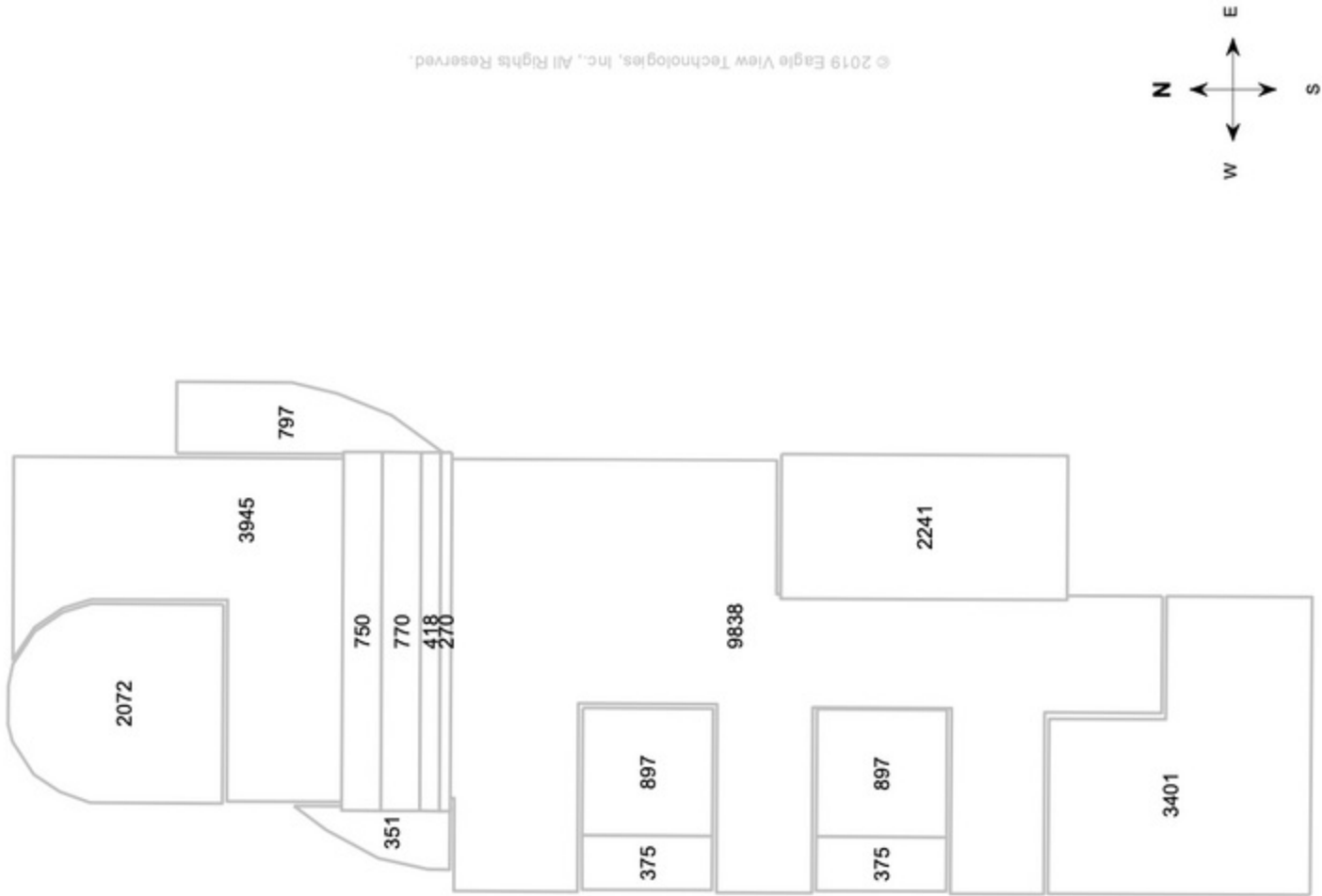
The inspection of this property was performed on Thursday, December 20, 2018 between 10:00 am - 12:00 pm and was completed by The Garland Company representative Russell Roberts and Coppell representative Andrew Moore. Included with this Written Report, we have provided a Forensic Photographic Document Report detailing our inspection of the modified bitumen roof system and restoration roof system at address listed above of report.

Asset Information

Name	Date Installed	Square Footage	Roof Access
HVAC Documents	2017	-	
Masonry Walls	1995	13,000	
Modified Bitumen: Original Roof	N/A	8,000	Attached Ladder
Restoration Roof	N/A	17,000	Attached Ladder
Standing Seam Metal Roof	N/A	9,475	Internal Roof Hatch







Client: The City of Coppell

Facility: Justice Center

Roof Section: Restoration Roof



Information

Year Installed	N/A	Square Footage	17,000
Slope Dimension	1/4"	Eave Height	24
Roof Access	Attached Ladder	System Type	Coated Modified Bitumen

Assembly

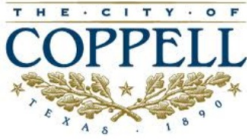
Roof #	Layer Type	Description	Attachment	R-Value	Thickness
1	Surfacing	Acrylic coating	Spray applied	-	-
1	Membrane	Mod Bit - 2 ply mineral surfaced	Adhesive	-	-
1	Cover Board	1/2" Perlite	Hot asphalt	-	1/2"
1	Insulation	Polyisocyanurate - tapered	Mechanically attached	13	25
1	Insulation	Polyisocyanurate	Mechanically attached	25	3"
1	Deck	Metal Deck	Unknown	-	22 GA

Details

Perimeter Detail	Parapet Wall, Metal Edge, Wall Cladding
Flashing Material	Modified Membrane
Drain System	Internal Roof Drains
Parapet Wall	Concrete Block
Coping Cap	Metal

Inventory	
Inventory Type	Quantity
Drain	8
Heat Stack	7
HVAC	5

Notes
<p>Section Summary: (Restoration [White] Roof System)</p> <p>In general: (1) the restoration roof coating system installation in some areas did not conform to industry standards and/or applicable building codes, (2) trapped moisture in roof system, (3) ponding water, (4) uv degradation, (5) deficient repairs, (6) exposed roof membrane, (7) restricted drainage, (8) detached lightning rod pads, (9) repairs do not meet minimum industry standards, "best practice".</p>



Inspection Report

Client: The City of Coppell

Facility: Justice Center

Report Date: 12/20/2018

Roof Section: Restoration Roof

Inspection Information

Inspection Date	12/20/2018	Core Data	No
Inspection Type	Visual Inspection	Leakage	No

Perimeter

Rating	Poor
Condition	

Field

Rating	Failed
Condition	

Penetrations

Rating	Fair
Condition	

Drainage

Rating	Poor
Condition	

Overall

Rating	Poor
Condition	

Client: The City of Coppel

Facility: Justice Center

Roof Section: Restoration Roof

Report Date: 12/20/2018

Title: Roof Conditions Photographic Report



Photo 1

Photograph shows typical roof conditions of restoration coating surface.



Photo 2

Photograph shows ponding water and typical roof conditions of restoration coating surface.



Photo 3

Photograph shows typical roof conditions of restoration coating surface.



Photo 4

Photograph shows ponding water and typical roof conditions of restoration coating surface.



Photo 5

Photograph shows typical roof conditions of restoration coating surface.

*** Note: reflection of sun on surface of ponding water. This condition is also referred to Rapid UV Degradation of roof surface. See Photograph #8 for long term effect of UV Degradation of roof surface.



Photo 6

Photograph shows ponding water and typical roof conditions of restoration coating surface.



Photo 7

Photograph shows ponding water and typical roof conditions of restoration coating surface.



Photo 8

ROOF SECTION A

Observed moisture trapped in roof system.



Photo 9

ROOF SECTION A

Observed moisture trapped in roof system.

Photo 10

ROOF SECTION A

Observed moisture trapped in roof system.



Photo 11

ROOF SECTION A

Observed moisture trapped in roof system.





Photo 12

ROOF SECTION B

Observed moisture trapped in roof system.



Photo 13

ROOF SECTION B

Observed roof coating separating at seams on original mod bit roof system.



Photo 14

ROOF SECTION C

Observed restoration coating separated from roof membrane. See Photograph #5 for cause of this condition "UV Degradation" and explanation of Effect.



Photo 15

ROOF SECTION C

Photograph shows close view of restoration coating separated from roof membrane.



Photo 16

ROOF SECTION C

Observed roof coating surfaces detaching from roof surrounding exposed adhesive.



Photo 17

ROOF SECTION C

Observed roof coating surfaces detaching from roof surrounding exposed adhesive.



Photo 18

ROOF SECTION C

Observed additional roof surface separating from roof system.



Photo 19

ROOF SECTION C

Observed additional roof surface separating from roof system.

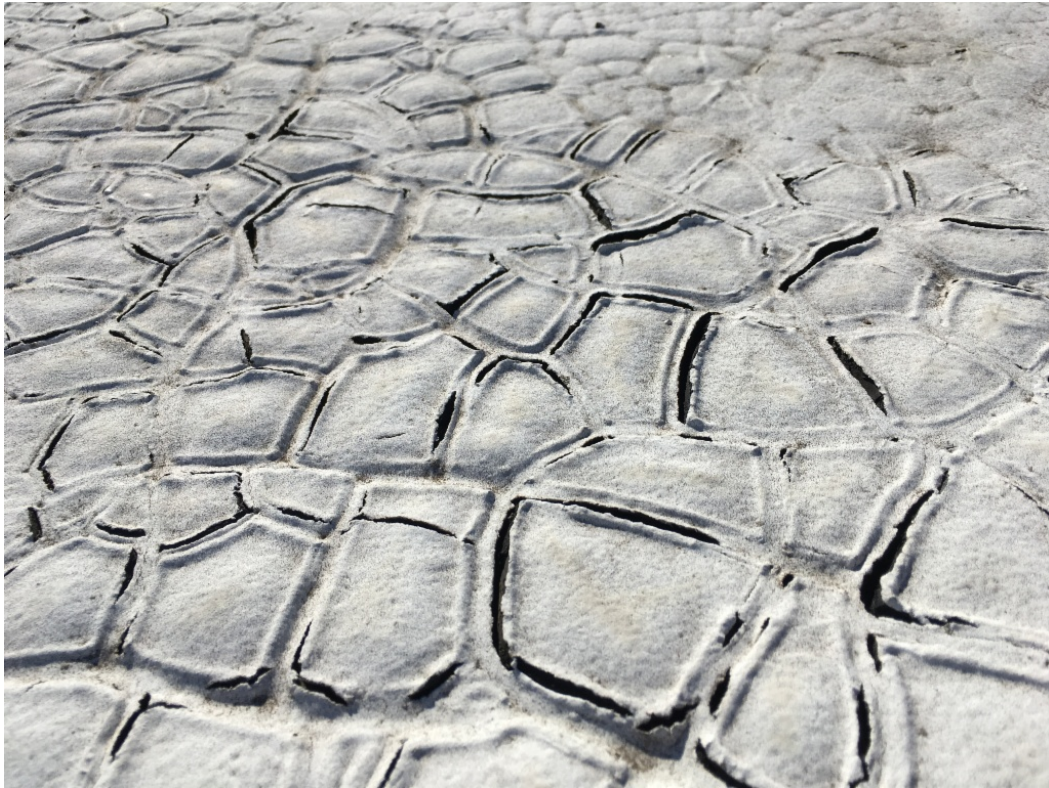


Photo 20

ROOF SECTION C

Observed additional roof surface separating from roof system.

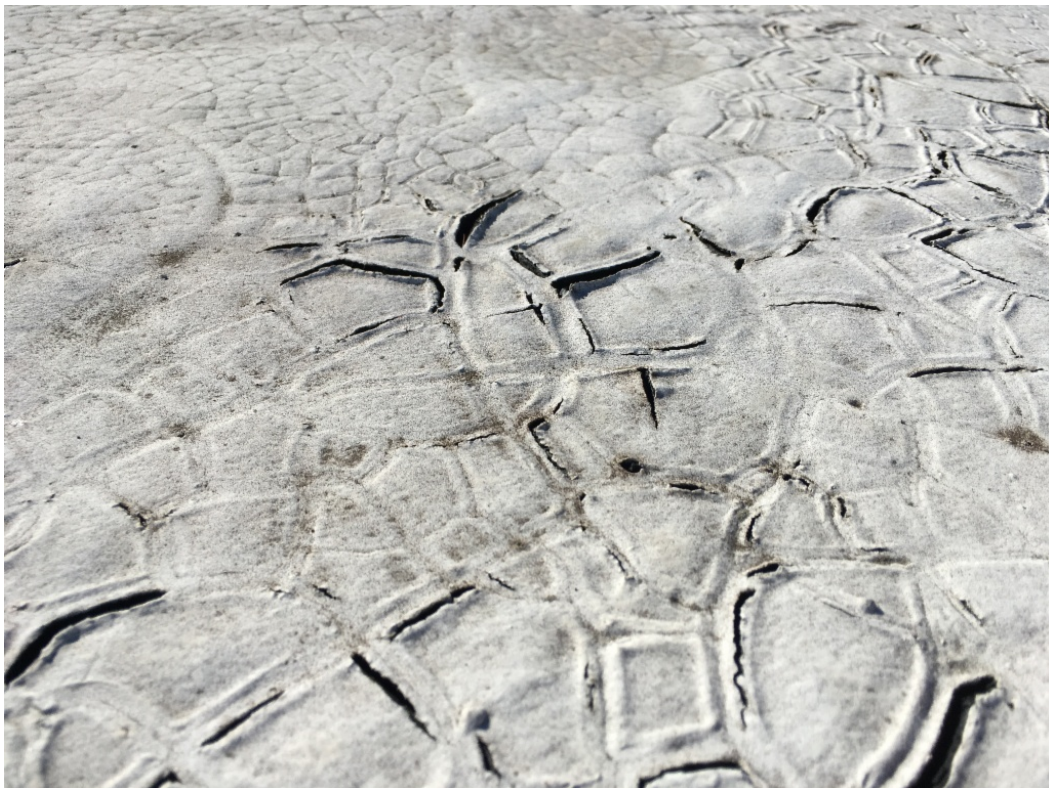


Photo 21

ROOF SECTION C

Observed additional roof surface separating from roof system.



Photo 22

ROOF SECTION C

Observed additional roof surface separating from roof system.



Photo 23

ROOF SECTION C

Observed exposed roof surface where restoration coating has detached.



Photo 24

ROOF SECTION C

Observed exposed mineral roof surface where restoration coating has detached.



Photo 25

ROOF SECTION C

Observed ponding water along with separation of restoration coating at through wall drain.



Photo 26

ROOF SECTION C

Observed ponding water along with separation of restoration coating at through wall drain.



Photo 27

Observed lightning rod protection components detached from roof surface.



Photo 28

Observed lightning rod protection components detached from roof surface.



Photo 29

Observed adhesive on bottom surface of lightning rod components from original roof system.



Photo 30

Observed deficient repairs installed on through wall drains.



Photo 31

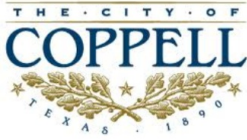
Observed additional deficient repairs installed on through wall drains.

****SEE NEXT PHOTO FOR
EFFECT****

Photo 32

Photograph shows **effect** of deficient repairs observed in previous photo.






Solution Options

Client: The City of Coppell

Facility: Justice Center

Roof Section: Restoration Roof

Replace Options

Solution Option:	Replace 	Action Year:	2019
Square Footage:	17,000	Expected Life (Years):	30
Budget:	\$335,000.00		

Scope of Work:

Please see scope of Work labeled " Justice Center Roof Section Original " attached to this report for scope of work to be applied to deficient Restoration Roof System.



**City of Coppell- Justice Center
Scope of Work**

SCOPE OF WORK- Sustainable Design High Performance Modified Built-up Roof System Incorporating the Use of Environmentally Responsible Components. Modified Bituminous Built-Up-Roof System including but not limited to: Provide all labor, equipment, and materials to install the roof system over the properly prepared substrate.

Scope of Work: Recover Section

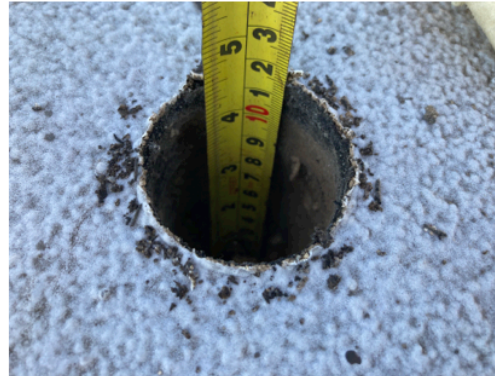
1. Moisture scan to be provided to manufacturer BEFORE work commences to ensure no moisture is currently trapped in roof assembly.
2. Remove and haul off all vertical wall assembly flashings including "cant" stip.
3. Mechanically attach specified ½" primed cover board according to wind uplift calculations provided by manufacturing company.
4. Install torch applied base sheet over primed coverboard according to manufacturer's installation instructions.
5. Install torch applied mineral cap sheet over base sheet according to manufacturer's installation instructions.
6. Fabricate and install new 24 ga. Stainless steel pitch pans and hoods. Prime both sides of flanges and set in specified mastic.
7. Flashing system: Install 195 mil torch applied mineral surfaced cap sheet as specified. Torch 6" laps over all side laps of the new flashing. Install termination bar as specified. Seal top of flashing with three courses mastic detail.
8. Fabricate and install new pre-finished coping caps with new nailers as needed. Color chosen by owner. All sheet metal work shall conform to ANSI-SPRI-ES1.
9. Fabricate and install new pre-finished 22 ga. Pre-finished drip edge raised metal edges (like kind quality) as specified with 22 ga. Galvanized.
10. Provide new roller supports for gas lines per code requirements.
11. Remove abandoned curbs and provide new decking to match existing and designated locations.
12. Coat all gas lines with two coats of safety yellow paint.
13. Contractor to provide 5 year workmanship and 2 year material warranty.
14. Manufacturer to provide 30 Year Warranty.

Scope of Work: Reroof Section

1. Remove all existing roofing, insulation, related sheet metal flashing and accessories.
2. Inspect metal decking for rust and other defects. If needed, remove rust and apply a coat of red oxide rust inhibitor per manufacturers recommendations.
3. Replace damaged decking matching 1.5" Type-A as needed. Must provide photos of decking before and after installation. **Provide price per board foot to replace.**
4. Replace all wood nailers at the perimeter with new fire treated lumber.
5. Mechanically fasten new ISO insulation. Provide two layers of 2.3" fastened per ASCE 7-10 requirements. Total insulation and crickets R-Value to average more than R-25.
6. Install crickets in specified locations to provide proper drainage. Ponding water will not be allowed.
7. Install ¼" crickets on the high side of curbs to prevent ponding water.
8. Mechanically attach specified ½" primed cover board according to wind uplift calculations provided by manufacturing company.
9. Install torch applied base sheet over primed coverboard according to manufacturer's installation instructions.
10. Install torch applied mineral cap sheet over base sheet according to manufacturer's installation instructions.
11. Fabricate and install new 24 ga. Stainless steel pitch pans and hoods. Prime both sides of flanges and set in specified mastic.
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15. Provide new roller supports for gas lines per code requirements.
16. Remove abandoned curbs and provide new decking to match existing and designated locations.
17. Coat all gas lines with two coats of safety yellow paint.
18. Contractor to provide 5 year workmanship and 2 year material warranty.
19. Manufacturer to provide 30 Year Warranty.
- 20.

Additional Notes:

- 1) Locked fencing area around staging area; Ground protection in staging area; Portable Toilet responsibility of contractor.
- 2) Pitch pans will have stainless covers installed over pan with Seal-Tite fill and Gar-Rock base.
- 3) Client is Tax Exempt. Bonding, freight/shipping, permit fee will be responsibility of Contractor. fee will be responsibility of Contractor.
- 4) Weekly OSHA safety meeting to conducted and documented by General Contractor awarded project.
- 5) Mobilization plan with map to be provided by General Contractor awarded project before work commences.
- 6) Parking lot protection to be included in proposal and provided by General Contractor awarded project.



See Scope of Work- Approved Manufacturers Installation Instructions



G002		CITY OF COPPELL JUSTICE CENTER / PARTIAL ROOF PROJECT				THE GARLAND COMPANY INC. 3800 EAST 91ST STREET CLEVELAND, OHIO 44135 PHONE: 216-641-7500 FAX: 216-641-0633		REVISIONS	
SCALE:	130 Town Center Blvd., Coppell, Texas 75019			CUSTOMER: CITY OF COPPELL			REVISIONS		
DWG BY: PHL				AGENT: RUSSELL ROBERTS			REVISIONS		
CHK BY: RRE							NO.		
DATE: 3-11-20	BID NUMBER: m-20						1		
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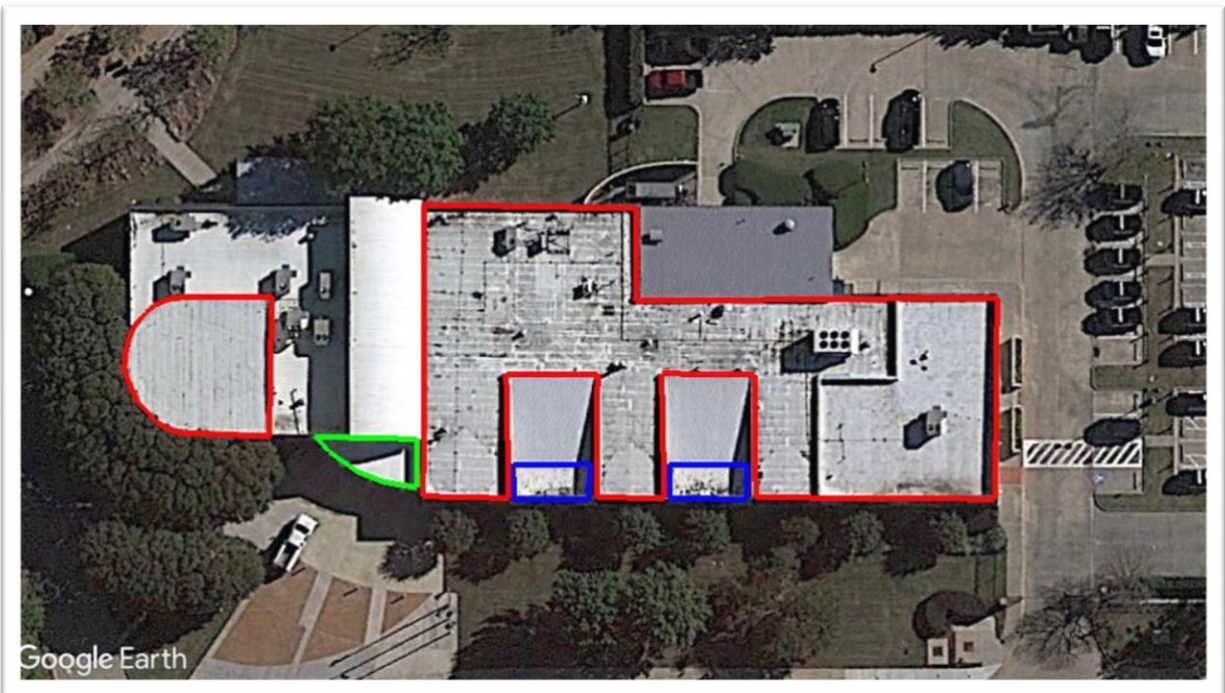
January 5, 2022

City of Coppell
255 East Parkway Blvd.
PO Box 9478
Coppell, TX 75019

TIPS PURCHASING COOP - 200201
ROOFING REPAIR PROPOSAL

We are pleased to submit this proposal for the recover project at the Coppell Justice Center located at 130 Town Center Blvd., Coppell, TX 75019 for the Owner(s). This proposal includes both labor, materials and equipment for the work as described below. This proposal is limited to the roof sections outlined in green, blue and red below and excludes all other roofs and awnings.

This proposal includes the cost of Payment and Performance Bonds.





GREEN OUTLINE ROOF WORK INCLUDES

1. Prepare existing roof system for repair.
2. Apply Garla-Block™ Primer to the existing roof system at a rate of 1/2 - 1
3. gallon per square prior to application of the White-Star system.
4. Apply one coat of White-Star at a rate of 2 gallons per square.
5. Apply a second coat of White-Star at a rate of 2 gallons per square.
6. Contractor to provide 5 year workmanship and 2 year material warranty.
7. Manufacturer to provide 30 year warranty.

RED OUTLINE ROOF WORK INCLUDES

1. Moisture scan to be provided to manufacturer BEFORE work commences to ensure no moisture is currently trapped in roof assembly.
2. Remove and haul off all vertical wall assembly flashings including “cant” stip.
3. Mechanically attach specified ½” primed cover board according to wind uplift calculations provided by manufacturing company.
4. Install torch applied base sheet over primed coverboard according to manufacturer’s installation instructions.
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9. Fabricate and install new pre-finished 24 ga. Pre-finished drip edge raised metal edges (like kind quality) as specified with 24 ga. Galvanized.
10. Provide new roller supports for gas lines per code requirements.
11. Remove abandoned curbs and provide new decking to match existing and designated locations.
12. Coat all gas lines with two coats of safety yellow paint.
13. Contractor to provide 5 year workmanship and 2 year material warranty.
14. Manufacturer to provide 30 year warranty.

BLUE OUTLINE ROOF WORK INCLUDES

1. Remove all existing roofing, insulation, related sheet metal flashing and accessories.
2. Inspect metal decking for rust and other defects. If needed, remove rust and apply a coat of red oxide rust inhibitor per manufacturers recommendations.



3. Replace damaged decking matching 1.5" Type-A as needed. Must provide photos of decking before and after installation. Provide price per board foot to replace.
4. Replace all wood nailers at the perimeter with new fire treated lumber.
5. Mechanically fasten new ISO insulation. Provide two layers of 2.3" fastened per ASCE 7-10 requirements. Total insulation and crickets R-Value to average more than R-25.
6. Install crickets in specified locations to provide proper drainage. Ponding water will not be allowed.
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18. Contractor to provide 5 year workmanship and 2 year material warranty.
19. Manufacturer to provide 30 year warranty.

EXCLUDES

1. The removal, handling and installation of the communication system located on the roof.
2. The removal, handling and installation of the lighting protection system located on the roof.
3. Any structural deficiencies and/or conditions.
4. Any plumbing, electrical and mechanical work.
5. Framing, wood blocking, metal canopies or prefabbed metal decks.
6. Testing and submittals.
7. Work not specified in line items above.



PROJECT TERMS AND CONDITIONS

1. Contractor shall carry General Liability Insurance and Workers Compensation.
2. Contractor shall coordinate all schedules and work hours with the Owner or the designated representative. Standard work hours shall apply to this project.
3. Once work commences, Contractor shall proceed diligently to final completion.
4. Contractor shall not be responsible for existing building conditions such as but not limited to: trapped moisture in the existing roof, leaking roof, walls, windows, gutters, interior drains, pipes, air conditioning equipment, ducts, vents, fans, parapets, mansards, waterlines, driveways, parking lots, electrical lines, masonry walls, adjacent roofs, skylights, trim, or existing water damage to interior of building (walls, ceilings, floors, etc.), hidden conduit within or below the existing roof system, multiple roofs, the existence of mold and/or asbestos containing materials, results of the placement of new materials on the existing roof, normal construction foot traffic, and spalling from fasteners on concrete decks.
5. Payment Schedule shall be as follows with all invoices due upon receipt:
 Materials due upon delivery
 Remaining invoices will be billed as project gets completed.
6. This proposal, if accepted, shall become the entire agreement between the parties. There are no agreements either express or implied that extend beyond the face of this proposal.
7. Price is good for delivery of materials for 30 days from the date of this proposal.

TOTAL VALUE OF WORK AS OUTLINED ABOVE:

\$ 323,800.00

Submitted By,

ACCEPTED

Justin Coleman, Owner

Company:_____

Blake Bolin, Owner

Printed Name:_____

Next Gen Construction

Authorized Signature:_____

Title:_____

Date:_____