



Know what's below.
Call before you dig.

LEGEND

PROPOSED SIGN

FIRE LANE STRIPING

EXISTING FIRE LANE

FIRE LANE
6" 3,600 PSI CLASS "C" (28 DAYS)
REIN. CONC. PAVEMENT
W/ NO. 3 BARS @ 18" O.C.E.W.
(MODIFY AS NEEDED FOR CITY STANDARDS)

PROPOSED FIRE HYDRANT

PROPOSED SANITARY MANHOLE

PROPOSED CURB INLET

PROPOSED GRATE INLET

ACCESSIBLE ROUTE

PARKING COUNT

PROPOSED RETAINING WALL

PROPOSED FDC

PROPERTY BOUNDARY

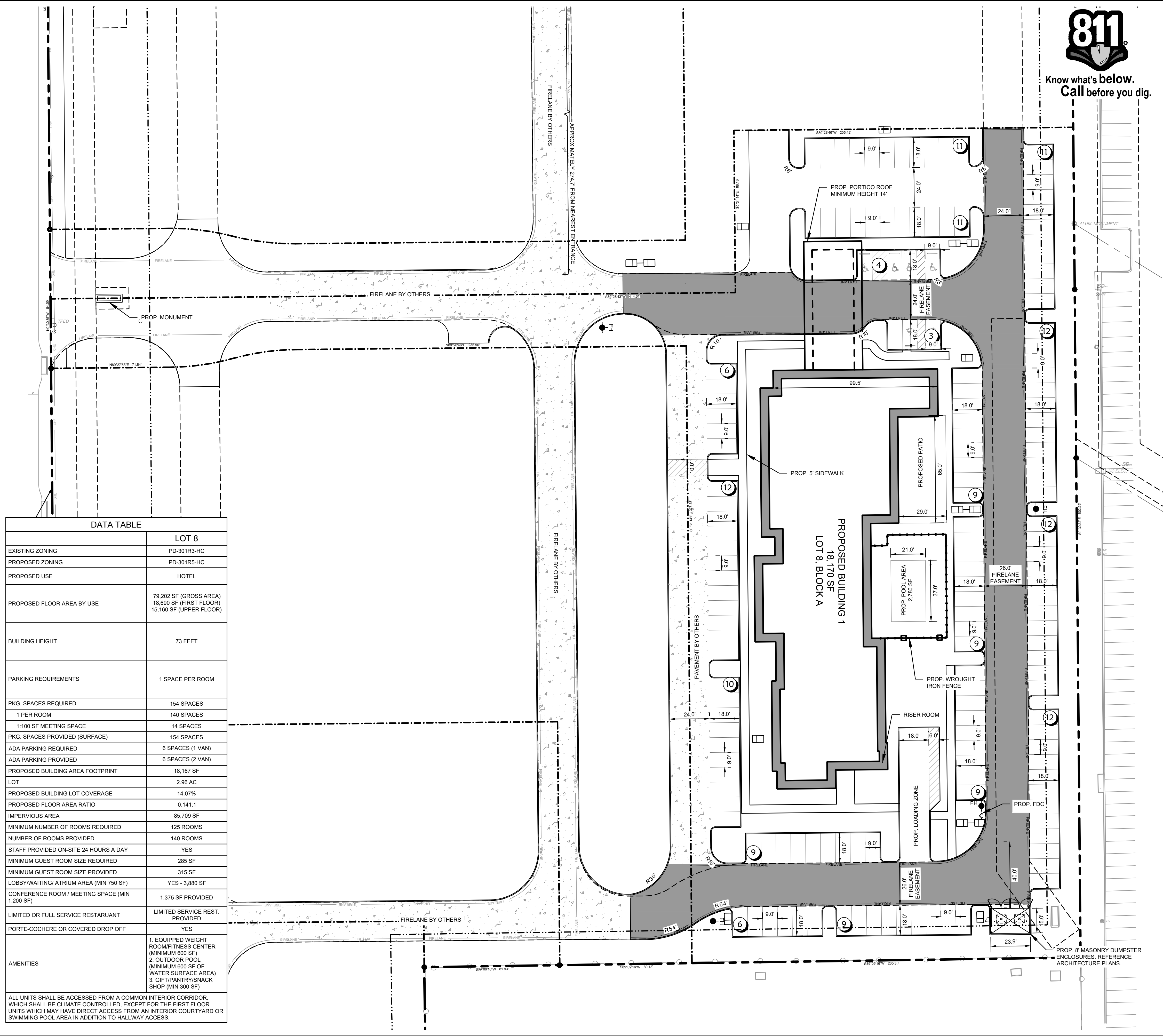
P1 LIGHT POLE

P1_2 LIGHT POLE

PRELIMINARY FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR THE PURPOSES OF CONSTRUCTION, BIDDING OR PERMIT. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

JOHN D. GARDNER
P.E.# 138295
DATE: October 7, 2024

TEMPO HOTEL
CITY OF COPPELL
DALLAS COUNTY, TEXAS



DATA TABLE	
EXISTING ZONING	LOT 8 PD-301R3-HC
PROPOSED ZONING	PD-301R5-HC
PROPOSED USE	HOTEL
PROPOSED FLOOR AREA BY USE	79,202 SF (GROSS AREA) 18,690 SF (FIRST FLOOR) 15,160 SF (UPPER FLOOR)
BUILDING HEIGHT	73 FEET
PARKING REQUIREMENTS	1 SPACE PER ROOM
PKG. SPACES REQUIRED	154 SPACES
1 PER ROOM	140 SPACES
1:100 SF MEETING SPACE	14 SPACES
PKG. SPACES PROVIDED (SURFACE)	154 SPACES
ADA PARKING REQUIRED	6 SPACES (1 VAN)
ADA PARKING PROVIDED	6 SPACES (2 VAN)
PROPOSED BUILDING AREA FOOTPRINT	18,167 SF
LOT	2.96 AC
PROPOSED BUILDING LOT COVERAGE	14.07%
PROPOSED FLOOR AREA RATIO	0.141:1
IMPERVIOUS AREA	85,709 SF
MINIMUM NUMBER OF ROOMS REQUIRED	125 ROOMS
NUMBER OF ROOMS PROVIDED	140 ROOMS
STAFF PROVIDED ON-SITE 24 HOURS A DAY	YES
MINIMUM GUEST ROOM SIZE REQUIRED	285 SF
MINIMUM GUEST ROOM SIZE PROVIDED	315 SF
LOBBY/WAITING/ ATRIUM AREA (MIN 750 SF)	YES - 3,880 SF
CONFERENCE ROOM / MEETING SPACE (MIN 1,200 SF)	1,375 SF PROVIDED
LIMITED OR FULL SERVICE RESTAURANT	LIMITED SERVICE REST. PROVIDED
PORTE-COCHERE OR COVERED DROP OFF	YES
AMENITIES	1. EQUIPPED WEIGHT ROOM/FITNESS CENTER (MINIMUM 600 SF) 2. OUTDOOR POOL (MINIMUM 600 SF OF WATER SURFACE AREA) 3. GIFT/PANTRY/SNACK SHOP (MIN 300 SF)
ALL UNITS SHALL BE ACCESSED FROM A COMMON INTERIOR CORRIDOR, WHICH SHALL BE CLIMATE CONTROLLED, EXCEPT FOR THE FIRST FLOOR UNITS WHICH MAY HAVE DIRECT ACCESS FROM AN INTERIOR COURTYARD OR SWIMMING POOL AREA IN ADDITION TO HALLWAY ACCESS.	

- PD CONDITIONS:**
1. SETBACKS AS SHOWN
 2. PARKING AS SHOWN
 3. LANDSCAPING AS SHOWN

- LAYOUT & DIMENSIONAL CONTROL NOTES:**
1. BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
 2. DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
 3. CURB RADIUS: UNLESS NOTED OTHERWISE, ALL CURB RADII SHALL BE 3' AT FACE OF CURB.
 4. BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
 6. ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE. REFER TO SHEET(S) C10.0 FOR SITE DETAILS.

NOTE TO CONTRACTOR
THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.



GRAPHIC SCALE
0 30 60 FEET
SCALE: 1" = 30'

SITE PLAN
CITY PROJECT NO. SPXX-XXXX

TEMPO HOTEL
VICTORY COPPELL ADDITION
2.64 ACRES
LOT 8, BLOCK A
(INST. NO. 201600361918)
CITY OF COPPELL, DALLAS COUNTY, TEXAS

PREPARATION DATE: 8/6/24

OWNER/APPLICANT VICTORY REAL ESTATE GROUP 2911 TURTLE CREEK BLVD, SUITE 700 DALLAS, TX 75219 PH: 469-646-8184 EMAIL: JESUS@VY-RE.COM CONTACT: JESUS SANCHEZ	LANDSCAPE ARCHITECT LONDON LANDSCAPES P.O. BOX 28 COLLINSVILLE, TEXAS 76233 PH: 972-800-0676 EMAIL: AMY.LONDON@LONDON-LANDSCAPES.NET CONTACT: AMY LONDON, RLA
ENGINEER KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PH: 817-488-4990 CONTACT: JOHN GARDNER@TRUSTEES.COM	SURVEYOR BARTON CHAPA SURVEYING 3901 NE LOOP 820 FORT WORTH, TX 76137 PH: 817-864-1957 CONTACT: JACK BARTON, RPLS

REV.	DATE	DESCRIPTION

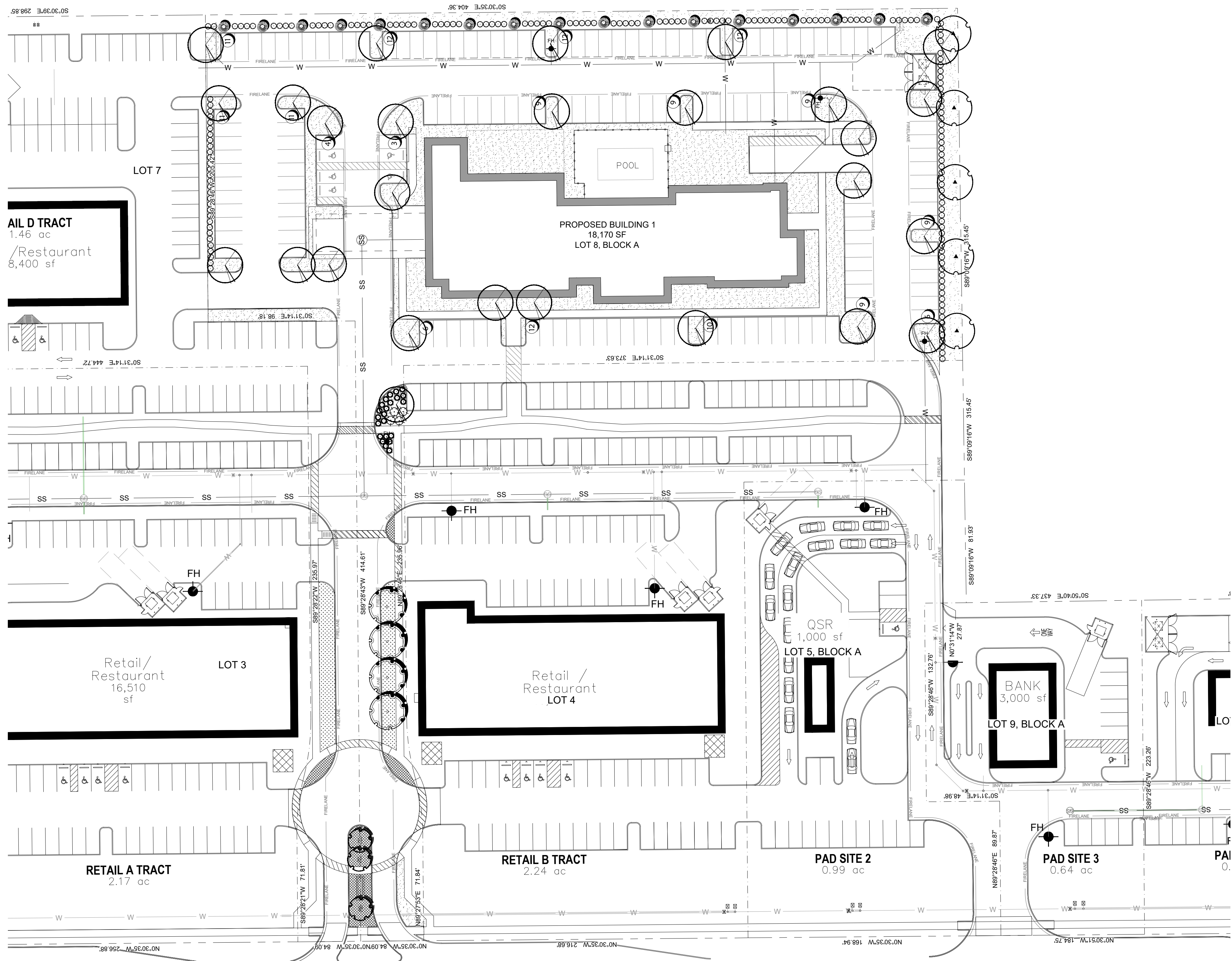
Kirkman ENGINEERING
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
TEXAS FIRM NO. 15874

JOB NUMBER: PGH24001
ISSUE DATE:

SITE PLAN

SHEET:
C3.0

PLANS: C:\SITE PLAN\Tempo Hotel\Drawings\03 - Production\03 SITE PLAN
 PLOTTED BY: JOHN GARDNER
 PLOTTED DATE: 10/7/2024



KEY

TREES

27	UL	Ulmus crassifolia	Cedar Elm	3" Cal. Min. Cont. Crown-65 Gal. 12'-15' Height, 6'-8' Spread Specimen
5	QT	Quercus texana	Texas Red Oak	3" Cal. Min. Cont. Crown-65 Gal. 12'-15' Height, 6'-8' Spread Specimen
4	TD	Taxodium distichum	Bald Cypress	3" Cal. Min. Cont. Crown-65 Gal. 12'-15' Height, 6'-8' Spread Specimen
17	CL	Juniperus virginiana	Eastern Red Cedar	#7 4' Height Tall at Planting Specimen
3	MG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	3" Cal. Min. Cont. Crown-65 Gal. 10'-12' Height, 2'-4' Spread Specimen

SHRUBS

168	MYR	Myrica pauciflora	Dwarf Wax Myrtle	3 Gal. Minimum 30" Minimum height at planting Spaced per plan, matching
4	LEU	Leucophyllum frutescens	Texas Sage	3 Gal. Minimum 30" Minimum height at planting Spaced per plan, matching
22	HP	Hesperaloe parviflora	Red Yucca	3 Gal. Minimum 30" Minimum height at planting Spaced per plan, matching

GROUNDCOVER

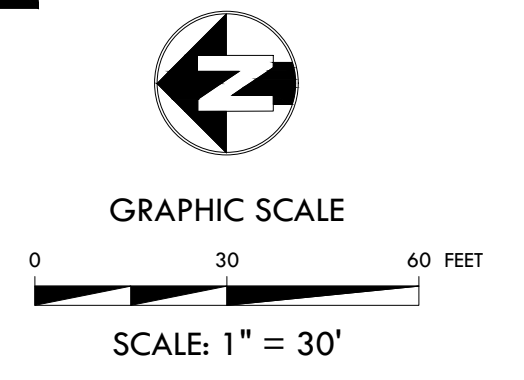
2,000 SF	SC	Seasonal Color		
1,083 SF	OJ	Ophiopogon japonicus	Mondo Grass	
23,655 SF	SOD	Common Bermuda Grass	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
	EDGE	Metal Edging		Submit Colors for Approval by Landscape Architect or Owner

LANDSCAPE REQUIREMENTS

	LOT 8
ZONING	PD-301R5-HC
USE	HOTEL
BUILDING AREA BY USE	HOTEL 79,202
BUILDING AREA (TOTAL)	79,202 SF
LOT	2.96 AC (128,837 SF)
LOT COVERAGE	14.07%
LANDSCAPE AREA REQUIRED (30%)	38,681 SF
LANDSCAPE AREA PROVIDED	34,896 SF (27%)
NON VEHICULAR OPEN SPACE REQUIRED (15%)	5,802 SF
NON VEHICULAR OPEN SPACE PROVIDED	16,637 SF (48%)
NON VEHICULAR OPEN SPACE TREES REQUIRED 1 TREE / 2500 SF	14
NON VEHICULAR OPEN SPACE TREES PROVIDED	14
PERIMETER LANDSCAPING REQUIRED (TREES AND SHRUBS)	YES
PERIMETER TREES REQUIRED (1150 LF)	15
PERIMETER TREES PROVIDED	15
INTERIOR LANDSCAPE AREA REQUIRED (10% GROSS LA)	3,868 SF
INTERIOR LANDSCAPE AREA PROVIDED	27,779 SF
INTERIOR TREES REQUIRED (11400 SF)	10
INTERIOR TREES PROVIDED	10

IRRIGATION NOTE
ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.

- PD CONDITIONS**
1. SETBACKS AS SHOWN
 2. LANDSCAPE AS SHOWN



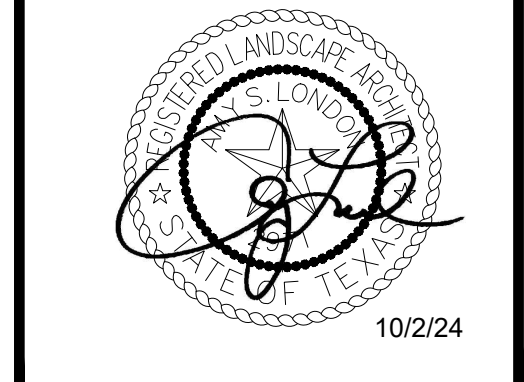
LANDSCAPE PLAN
CITY PROJECT NO. SPXX-XXXX
TEMPO HOTEL
3.38 ACRES
LOT 8, BLOCK 1
BELTLINE PROPERTIES, LLC
(INST. NO. 201600361918)
CITY OF COPPELL, DALLAS COUNTY, TEXAS
PREPARATION DATE: 11/17/2022

OWNER/APPLICANT
VICTORY REAL ESTATE GROUP
2911 TURTLE CREEK BLVD STE 700
DALLAS, TEXAS 75219
PH: 972-707-9565
CONTACT: BOBBY MENDOZA

LANDSCAPE ARCHITECT COMPANY
LANDSCAPE ADDRESS
LANDSCAPE ADDRESS
PH: LANDSCAPE PHONE NUMBER
CONTACT: LA ARCHITECT, RLA

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4960
CONTACT: JOHN GARDNER, PE

SURVEYOR
BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1957
CONTACT: JACK BARTON, RPLS

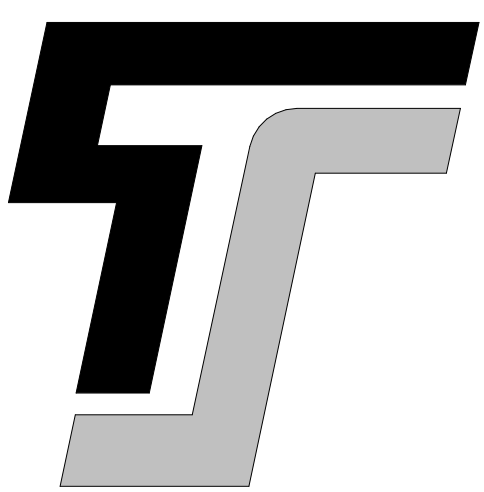


TEMPO HOTEL
CITY OF COPPELL
DALLAS COUNTY, TEXAS



LANDSCAPE PLAN

SHEET:
L1.00



TYPE-SIX

TYPE-SIX
DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075

TEMPO BY HILTON
PEGASUS HOSPITALITY GROUP LLC
COPPELL, TX, 75019

PROJECT # 24011



01 LEVEL - DIMENSION PLAN
1/8" = 1'-0"

ZONING REQUIREMENTS

REQUIRED BY THE JURISDICTION	PROVIDED
MINIMUM NUMBER OF ROOMS - 125	YES - 140 GUESTROOMS
MINIMUM SQ FOOT = 285 SF	YES - 315 SQ. FT.
INTERIOR CLIMATE CONTROL CORRIDOR	YES
LOBBY/WAITING/ATRIUM AREA (MIN 750 SQ. FT.)	YES - 3880 SQ. FT.
RESTAURANT - LIMITED SERVICE	YES
PORTE COCHERE OR COVERED DROP OFF	YES
MEETING SPACE - 1,200 SQ. FT. MIN.	YES - 1375 SQ. FT.
MINIMUM OF 2 ACRES	YES
PROVIDED STAFF 24 HRS/DAY	YES
OPTIONAL BY THE JURISDICTION	PROVIDED
INDOOR/OUTDOOR POOL	YES
FITNESS ROOM(MIN 600 SQ. FT.)	YES - 910 SQ. FT.
PLAYGROUND	NO
SPORT COURT	NO
JOGGING TRAIL	NO
GIFT/PANTRY SNACK	YES
MEETSPACE 5,000 SF	NO
FULL SERVICE RESTAURANT (MIN 35 SEATING)	NO
OUTDOOR PLAZA	YES (1,400 SF)

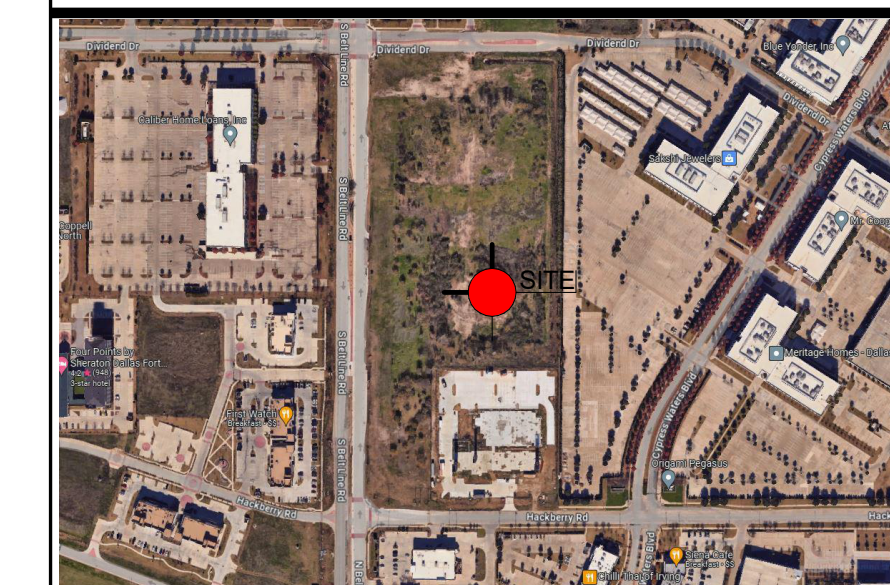
SITE INFORMATION

EXISTING ZONING	PD-221R3R-HC
PROPOSED USE	HOTEL
SITE AREA	2.90 ACRES
BUILDING FOOTPRINT	18,170 SQ. FT.
GROSS FLOOR AREA	79,202 SQ. FT.
BUILDING HEIGHT	73 FT.
LOT BUILDING COVERAGE	14.4%
FLOOR AREA RATIO	62.5%
IMPERVIOUS COVER	95,224 SF
IMPERVIOUS COVER	75.3%
PERVIOUS COVER	31,197 SF
PERVIOUS COVER	24.7%
ESTIMATED SEWER FLOW	52.4 GPM

ROOM MATRIX

GUESTROOMS	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	TOTALS
KING - 332 SQ. FT.	0	22	22	22	18	84
KING ACC - 360 SQ. FT.	1	0	1	0	1	3
KING SUITE - 550 SQ. FT.	0	1	1	0	1	3
KING ACC SUITE - 550 SQ. FT.	0	0	0	1	0	1
DOUBLE QUEEN - 360 SQ. FT.	7	10	9	10	10	46
DOUBLE QUEEN ACC - 430SQ. FT.	0	1	1	1	0	3
TOTAL	8	34	34	34	30	140

SITE LOCATION



TEMPO HOTEL - BY HILTON

LEGAL DESCRIPTION 1: JOHN L WHITMAN ABST 1521 PG 050
LEGAL DESCRIPTION 2: TR 9
ACREAGE = 2.9 ACRES
CITY OF COPPELL
DALLAS COUNTY, TEXAS 75019
OWNER
CYPRESS WATERS HOSPITALITY, LTD
3501 NORTH STEMMONS FWY, DALLAS TEXAS 75247
PHONE 469.608.5600
PREPARED BY:
TYPE-SIX DESIGN AND DEVELOPMENT
PROJECT CONTACT: CONNOR WALKER, AIA
620 SOUTH MAIN STREET, SUITE 150
GRAPEVINE, TEXAS 76051
SUBMITTAL DATE: 15 July 2024

ARCHITECT
D. HAYES HINKLE

ISSUE DATE
15 JUL 2024

ISSUED FOR
PERMIT

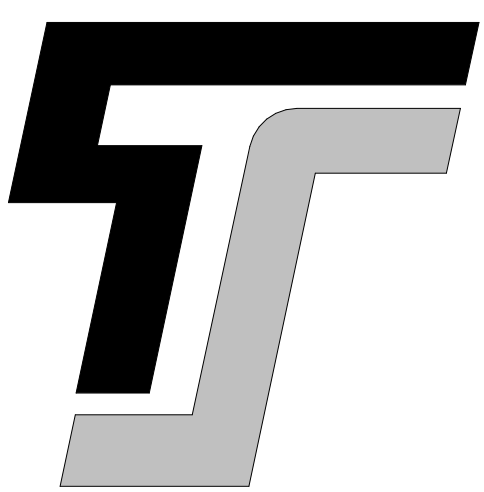
#	Revision	Date
1		

SHEET NAME
01 DIMENSION PLAN

SHEET NUMBER
A1.01

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D. HAYES HINKLE - 26067

10/2/2024 3:55:41 PM



TYPE-SIX

TYPE-SIX
DEVELOPMENT SERVICES, LLC
910 SOUTH MAIN STREET #150
GRAPEVINE, TEXAS 76054
972.677.9075

TEMPO BY HILTON
PEGASUS HOSPITALITY GROUP LLC
COPPELL, TX, 75019

PROJECT # 24011

ARCHITECT

D. HAYES HINKLE

ISSUE DATE

15 JUL 2024

ISSUED FOR

PERMIT

#	Revision	Date
1		

SHEET NAME

UPPER LEVEL PLANS

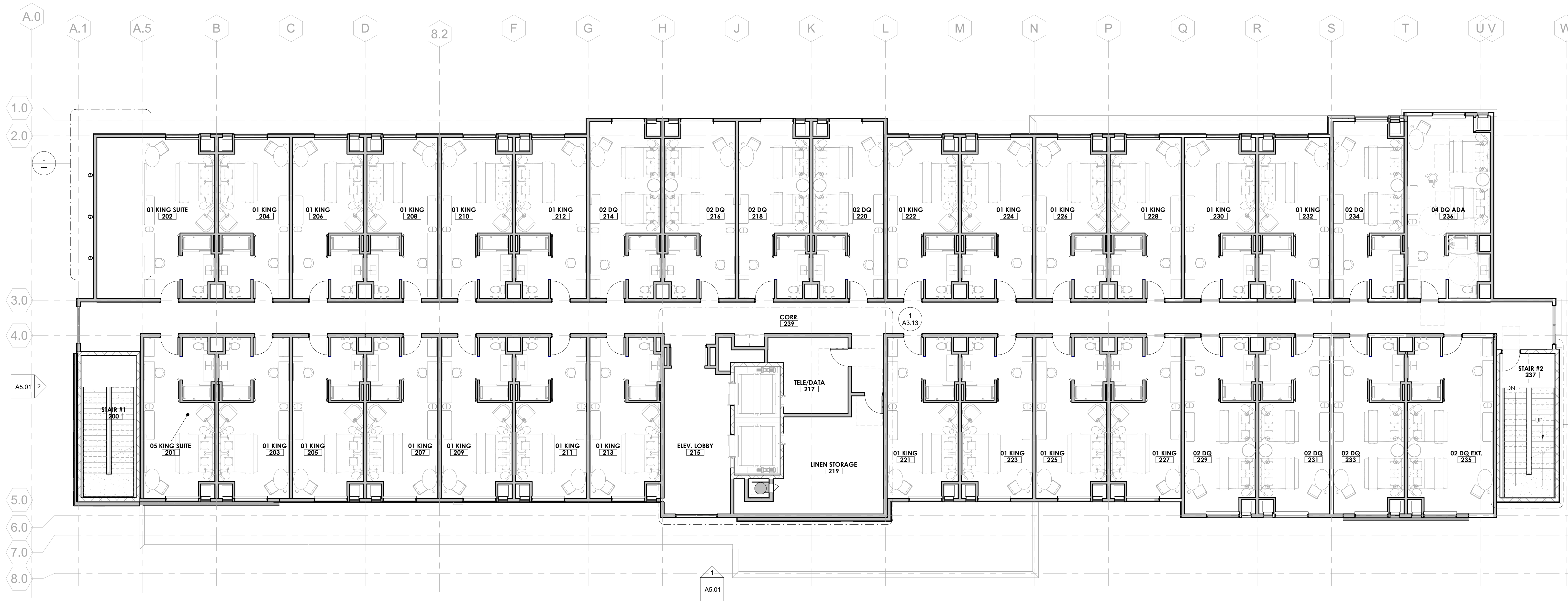
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A1.02

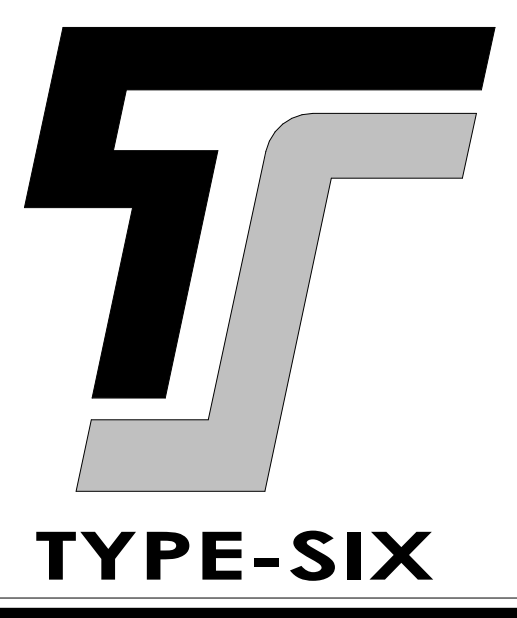
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D. HAYES HINKLE - 26067

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1 02 LEVEL - DIMENSION PLAN
1/8" = 1'-0"



TYPE-SIX
DEVELOPMENT SERVICES, LLC
 910 SOUTH MAIN STREET #150
 GRAPEVINE, TEXAS 76054
 972.677.9075

TEMPO BY HILTON
PEGASUS HOSPITALITY GROUP LLC
 COPPELL TX, 75019
PROJECT # 24011

ARCHITECT
 D. HAYES HINKLE
 ISSUE DATE
 15 JUL 2024
 ISSUED FOR
 PERMIT

#	Revision	Date

SHEET NAME
 BUILDING ELEVATIONS

SHEET NUMBER
A5.01

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 D. HAYES HINKLE - 26067
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ZONING	
HIGHWAY COMMERCIAL EXTERIOR CONSTRUCTION REGULATIONS	
CORNICE/CAP	YES
3 COLORS MAX.	YES - 3 EIFS COLORS
100% MAX BASE COLOR	YES
5% MAX SECONDARY COLOR & 1% MAX ACCENT COLOR	NO
50% MAX GLAZING PER FACADE	YES

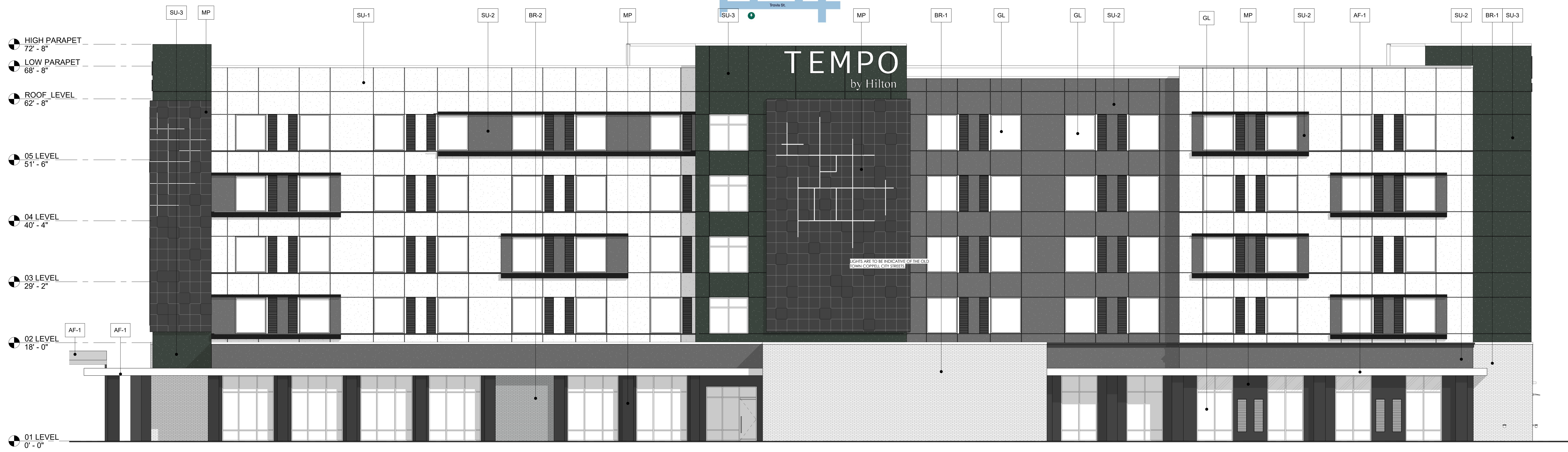
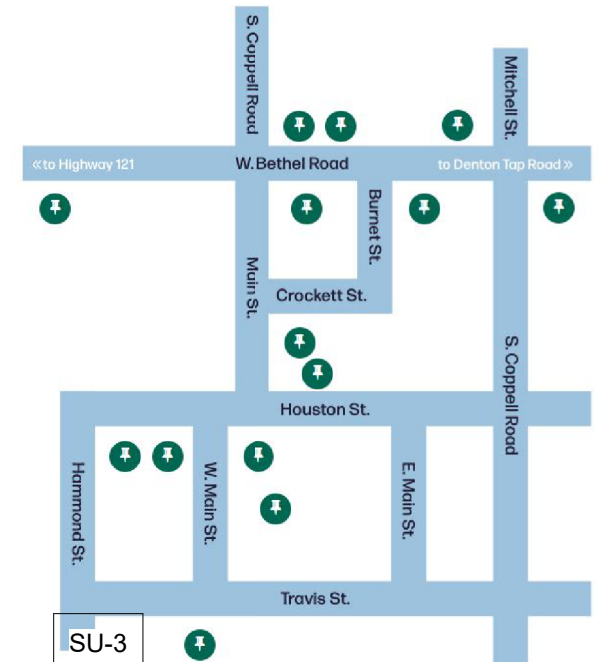
NOTE: ALL ATTACHED BUILDING SIGNAGE WILL COMPLY WITH THE SIGN SECTION OF THE ZONING ORDINANCE AND WILL BE PERMITTED SEPARATELY.

MATERIAL CALLOUTS	
BR-1	ACME BRICK - COLOR: DOVE GRAY BLEND - VELOUR - KING
BR-2	ENDICOTT CLAY - MANGANESE IRONSPOT - VELOUR - KING
SU-1	STUCCO - SW9166 DRIFT OF MIST
SU-2	STUCCO - "SW9164 ILLUSIVE GREEN"
SU-3	STUCCO - "SW9164 ROSEMARY"
MP	EN-V DRI-DESIGN SHADOW SERIES - SLATE GREY
LF-1	LOUVER FINISH - DARK BRONZE TO MATCH STOREFRONT
AF-1	ALUMINUM PARAPET FLASHING TO MATCH STOREFRONT
SF	STOREFRONT - KAWNEER - "DARK BRONZE #40"

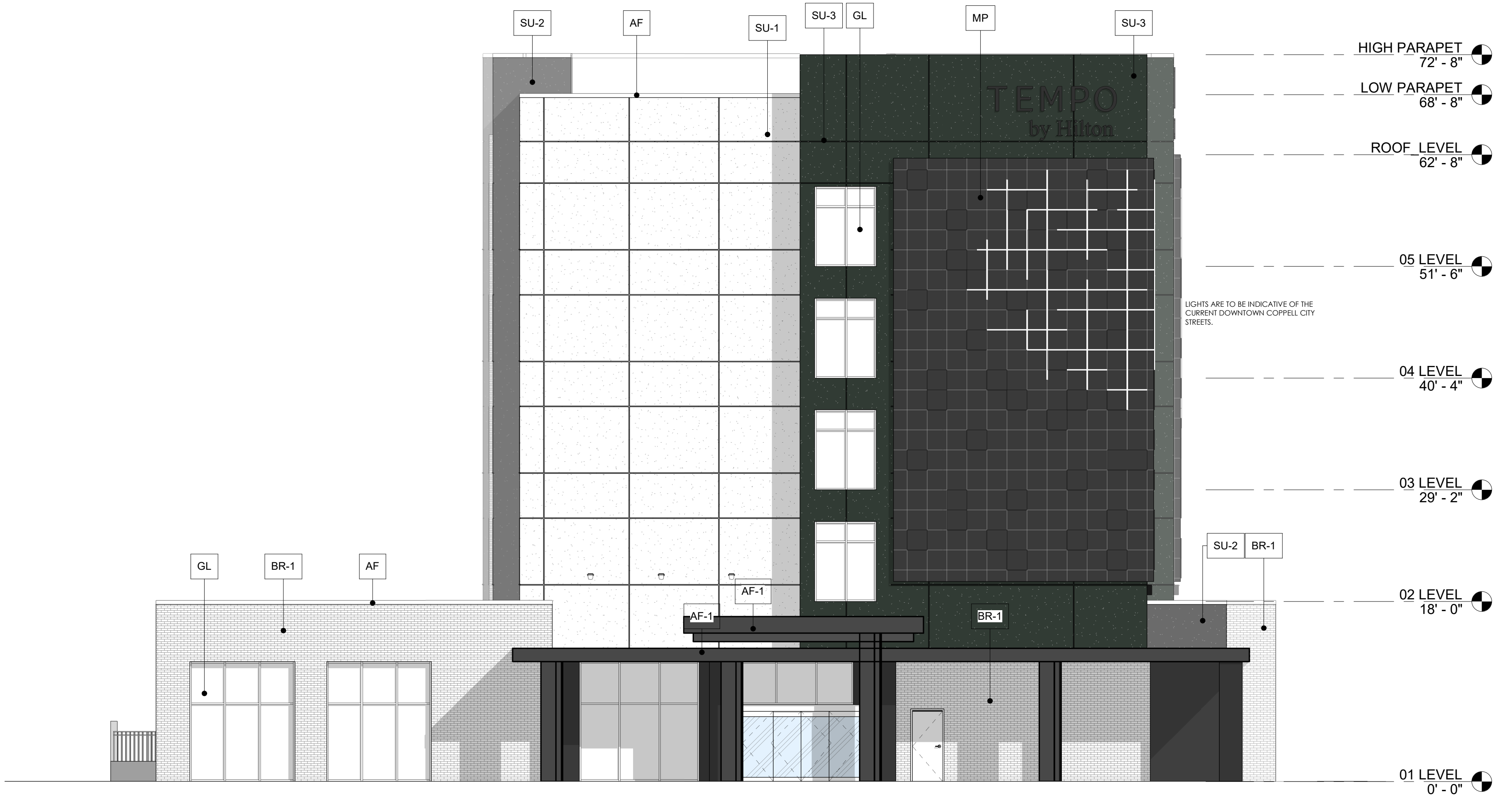
MATERIALS COLORS ARE SUBJECT TO CHANGE BASED ON AVAILABILITY. SUBSTITUTED COLOR TO REMAIN IN SIMILAR COLOR PALETTE.

- ADDITIONAL NOTES:**
- ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL.
 - MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH LOCAL CITY AND ZONING ORDINANCES.
 - UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.
 - ROMAN SIZE FACE BRICK, WITH 3/8" CONCAVE GROUT JOINT. MORTAR TO BE MATCHED TO GROUT.
 - CONTRACTOR TO ENSURE METAL PANELS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.
 - SIGN DESIGNED AND FABRICATED BY APPROVED VENDOR TO MEET BRAND STANDARDS. FOR LOCATION ONLY.
 - ALL UTILITY BOXES AND METERS SHALL BE PAINTED TO MATCH SURROUNDING BUILDING FACADE.
 - FINAL SIGN DESIGN TO BE DRAFTER BY THIRD PARTY CONTRACTOR TO ENSURE FINAL SIGN PACKAGE IS SUBMITTED APPROVED BY THE BRAND.

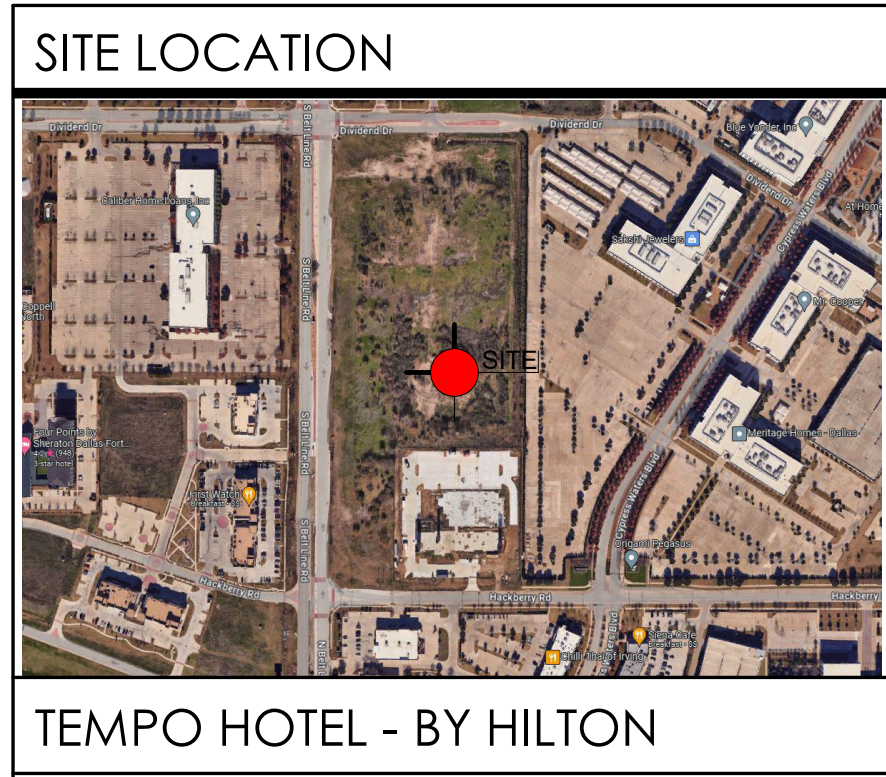
ELEVATION PERCENTAGES	
NORTH ELEVATION	EAST ELEVATION
OVERALL - 17,890 TOTAL SQ. FT.	OVERALL - 5,323 TOTAL SQ. FT.
3,710 SQ. FT. - GLAZING	216 SQ. FT. - GLAZING
13,620 SQ. FT. - MASONRY MATERIALS	5,071 SQ. FT. - MASONRY MATERIALS
• STUCCO	• STUCCO
• BRICK	• BRICK
560 SQ. FT. - METAL PANEL SIGNAGE - 85 SF	SIGNAGE - 1605F
SOUTH ELEVATION	WEST ELEVATION
OVERALL - 18,006 TOTAL SQ. FT.	OVERALL - 5,780 TOTAL SQ. FT.
3890 SQ. FT. - GLAZING	606 SQ. FT. - GLAZING
12,351 SQ. FT. - MASONRY MATERIALS	4,059 SQ. FT. - MASONRY MATERIALS
• STUCCO	• STUCCO
• BRICK	• BRICK
1855 SQ. FT. - METAL PANEL SIGNAGE - 245 SF	1,115 SQ. FT. - METAL PANEL (2.7%) SIGNAGE - 1485F



1 SOUTH ELEVATION
 1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"



TEMPO HOTEL - BY HILTON

LEGAL DESCRIPTION 1: JOHN L WHITMAN ABST 1521 PG 050
 LEGAL DESCRIPTION 2: TR 9
 ACREAGE = 2.7 ACRES
 CITY OF COPPELL
 DALLAS COUNTY, TEXAS 75019

OWNER
 CYPRESS WATERS HOSPITALITY, LTD
 3501 NORTH STEMMONS FWY, DALLAS TEXAS 75247
 PHONE: 469.608.5600

PREPARED BY:
 TYPE-SIX DESIGN AND DEVELOPMENT
 PROJECT CONTACT: CONNOR WALKER, AIA
 920 SOUTH MAIN STREET, SUITE 150
 GRAPEVINE, TEXAS 76051

SUBMITTAL DATE: 15 July 2024

ZONING	
HIGHWAY COMMERCIAL EXTERIOR CONSTRUCTION REGULATIONS	
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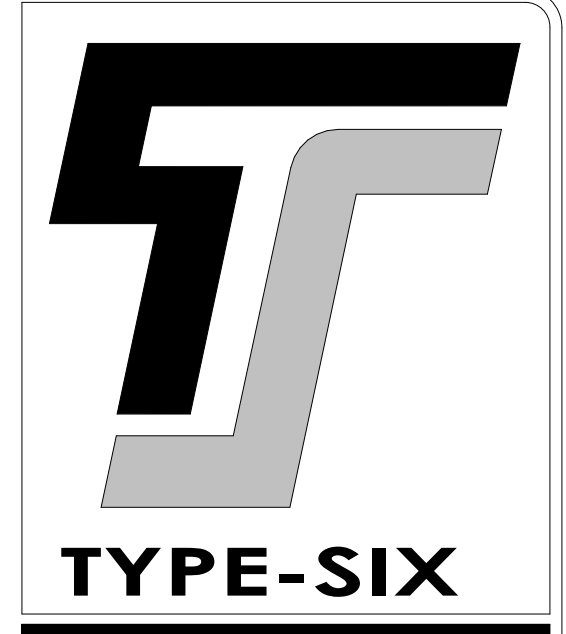
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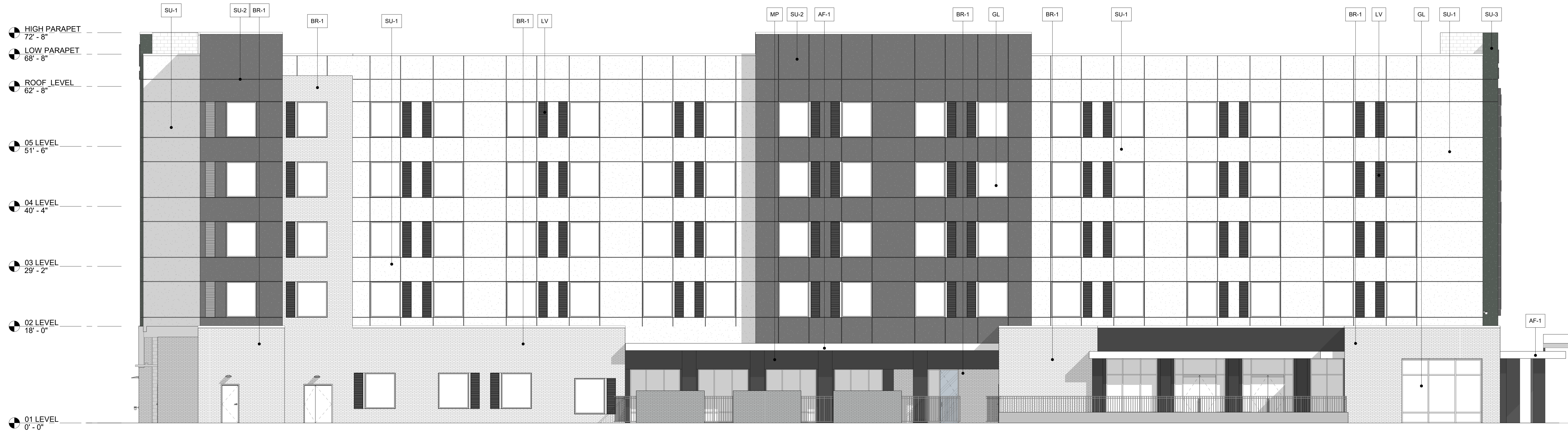
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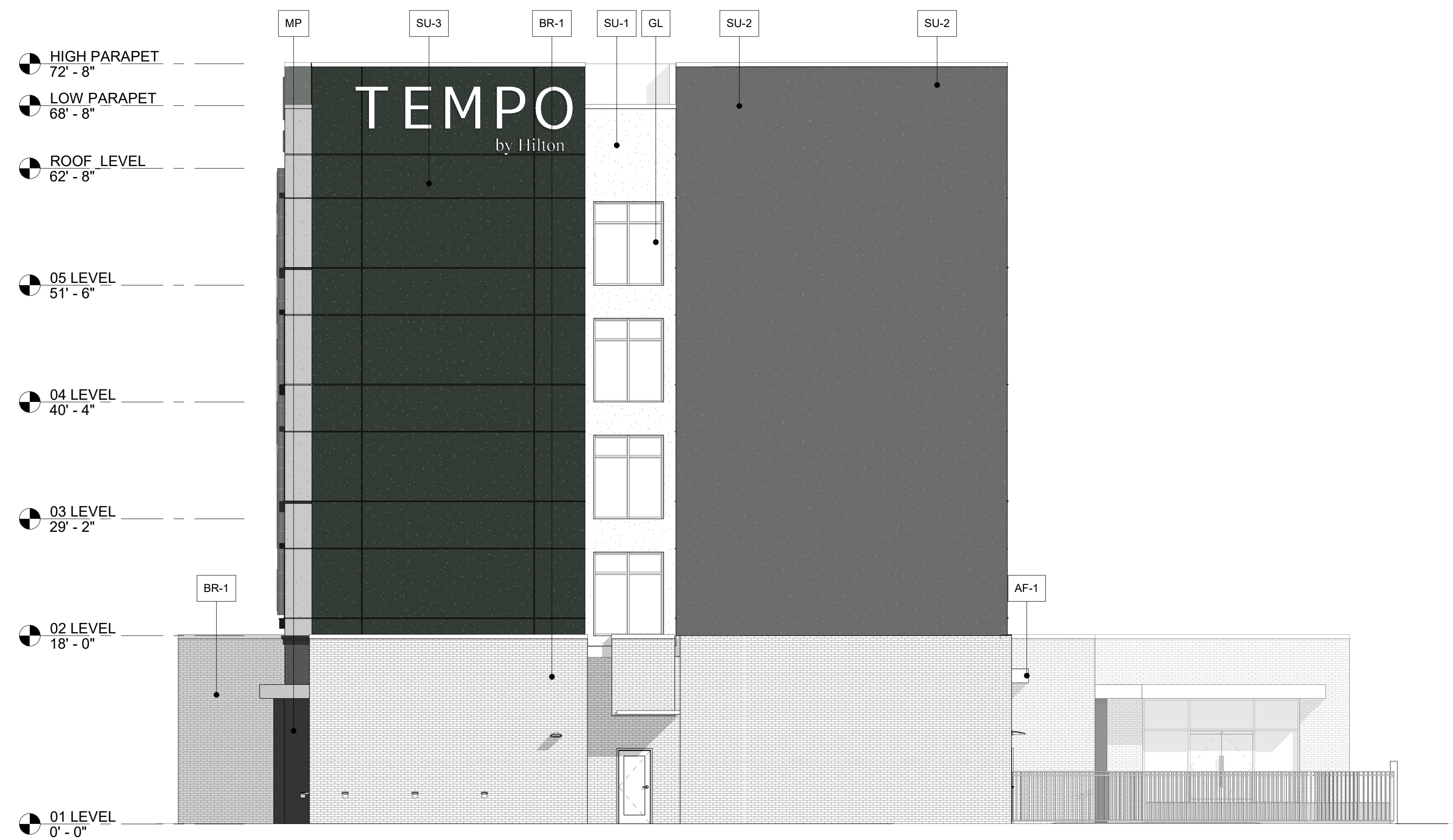
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560 SQ. FT. - METAL PANEL SIGNAGE - 85 SF	SIGNAGE - 1,605 SF
SOUTH ELEVATION	WEST ELEVATION
OVERALL - 18,036 TOTAL SQ. FT.	OVERALL - 5,780 TOTAL SQ. FT.
3800 SQ. FT. - GLAZING	606 SQ. FT. - GLAZING
12,351 SQ. FT. - MASONRY MATERIALS	4,059 SQ. FT. - MASONRY MATERIALS
• STUCCO	• STUCCO
• BRICK	• BRICK
1855 SQ. FT. - METAL PANEL SIGNAGE - 245 SF	1,115 SQ. FT. - METAL PANEL SIGNAGE - 148 SF



TYPE-SIX DEVELOPMENT SERVICES, LLC
 910 SOUTH MAIN STREET # 150
 GRAPEVINE, TEXAS 76054
 972.677.9075



1 NORTH ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"

TEMPO BY HILTON
 PEGASUS HOSPITALITY GROUP LLC
 COPPELL TX, 75019

PROJECT # 24011

ARCHITECT
 D. HAYES HINKLE

ISSUE DATE
 15 JUL 2024

ISSUED FOR
 PERMIT

#	Revision	Date

SHEET NAME
 BUILDING ELEVATIONS

SHEET NUMBER
A5.02



LEGAL DESCRIPTION 1: JOHN L. WHITMAN ABST 1521 PG 050
 LEGAL DESCRIPTION 2: TR 9
 ACREAGE = 2.9 ACRES
 CITY OF COPPELL
 DALLAS COUNTY, TEXAS 75019

OWNER
 CYPRESS WATERS HOSPITALITY, LTD
 3501 NORTH STEMMONS FWY, DALLAS TEXAS 75247
 PHONE 469.608.5650

PREPARED BY:
 TYPE-SIX DESIGN AND DEVELOPMENT
 PROJECT CONTACT: CONNOR WALKER, AIA
 920 SOUTH MAIN STREET, SUITE 150
 GRAPEVINE, TEXAS 76051

SUBMITTAL DATE: 15 July 2024

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D. HAYES HINKLE - 26067

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