

STANDARD COMMENTS

- STUCCO FOR EXTERIOR FINISH SHALL BE 7/8" PORTLAND CEMENT PLASTER ON METAL LATH AS PER SEC 2512 IBC. SUBSTITUTIONS WITH EIFS TYPE LOOK ALIKE PRODUCTS ARE NOT ALLOWED BELOW 9'-0" FROM FINISHED GRADE. A PARAPET OR SCREENING WALL EQUAL TO THE HEIGHT OF THE EQUIPMENTS SHALL BE PROVIDED.









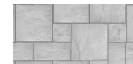
FACADE PLAN NOTES

- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ANY PROPOSED SIGNAGE PLAN NEED TO BE SUBMITTED FOR REVIEW WITH SITE PLAN.
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY.

AREA CALCULATIONS - NORTH ELEVATION			
ITEM	MATERIAL	AREA	% OF TOTAL
1	ADHERED STONE FACING FINISH 1	1051.87 SF	39.35 %
2	ADHERED STONE FACING FINISH 2	163.69 SF	6.12 %
3	MASONRY OR CONCRETE TRIM W/ TEXTURED FINISH	62.69 SF	2.35 %
4	EIFS CORNICE AND TRIM	179.23 SF	6.70 %
5	METAL AWNING	123 SF	4.6%
6	METAL WALL CAP	145.3 SF	5.43 %
7	FENESTRATION (DOOR & WINDOWS)	841.95 SF	31.50 %
8	FLASHING	105.51 SF	3.95%
TOTAL NORTH ELEVATION AREA		2673.24 SF	100 %

AREA CALCULATIONS - SOUTH ELEVATION			
ITEM	MATERIAL	AREA	% OF TOTAL
1	ADHERED STONE FACING FINISH 1	2159.59 SF	82.89 %
2	ADHERED STONE FACING FINISH 2	0 SF	0 %
3	MASONRY OR CONCRETE TRIM W/ TEXTURED FINISH	0 SF	0 %
4	EIFS CORNICE AND TRIM	197.47 SF	7.58 %
5	METAL AWNING	10.48 SF	0.40 %
6	METAL WALL CAP	174.4 SF	6.69 %
7	FENESTRATION (DOOR & WINDOWS)	63.41 SF	2.43 %
8	FLASHING	0 SF	0 %
TOTAL SOUTH ELEVATION AREA		2605.35 SF	100 %

MATERIAL LEGEND - REFERENCE MATERIAL/COLOR BOARD

	① MATL/COLOR ADHERED STONE FACING MFR./SUPPLIER - CORONADO STONES COLOR - TEXAS RUBBLE-TEXAS CREAM		④ MATL/COLOR EIFS FINISH ON FOAM CORNICE & TRIM MFR./SUPPLIER - TBD COLOR - SW7517 RIVERS EDGE MEDIUM TEXTURE		⑤ MATL/COLOR METAL AWNING MFR./SUPPLIER - VICTORY AWNING COLOR - POWDER COATED BENJAMIN MOORE™ HC 166 KENDALL CHARCOAL (SATIN FINISH)
	② MATL/COLOR ADHERED STONE FACING FINISH 2 MFR./SUPPLIER - CORONADO STONES COLOR - PRO LEDGE OAKBROOK		③ MATL/COLOR EIFS FINISH ON FOAM BRACKETS MFR./SUPPLIER - SHERWIN WILLIAMS COLOR - SW7068 GRIZZLE GRAY		⑥ MATL/COLOR METAL ROOF CAP, FLASHING / TRIM & STEEL DOORS/ROOF EQUIPMENT SCREENINGS MFR./SUPPLIER - POWDER COATED BENJAMIN MOORE™ HC COLOR - 166 KENDALL CHARCOAL (SATIN FINISH)
	③ MATL/COLOR MEDIUM TEXTURED COATING ON MASONRY/CONCRETE- SILL & BASE MFR./SUPPLIER - SHERWIN WILLIAMS CONFLX ULTAURETE ACRYLIC TEXTURE COATING COLOR - SW7517 RIVERS EDGE MEDIUM TEXTURE		⑥ MATL/COLOR STOREFRONT FRAME & DOORS PAINT MFR./SUPPLIER - POWDER COATED BENJAMIN MOORE™ HC COLOR - 166 KENDALL CHARCOAL (SATIN FINISH)		⑦ MATL/COLOR STAMPED CONCRETE MFR./SUPPLIER - FIELD APPLIED COLOR - PER MATERIAL BOARD SAMPLE PHOTO



1 NORTH ELEVATION *NOTE: COLORS ON NORTH ELEVATION ARE SAME AS OTHER ELEVATIONS BUT APPEAR DARKER DUE TO MINIMAL SUN ON NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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OWNERS CONTACT INFORMATION:
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ADDRESS: 1301 EAST BELTLINE RD, COPPELL, TX 75019
PHONE: 469.740.8097
EMAIL: INFO@HANGIR@GMAIL.COM

CITY COPPELL SITE APPROVAL PROJECT INFORMATION
Maple Mart Expansion
PROJECT NAME: 1301 E. BELT LINE RD, COPPELL, TX 75019
LOCATION: VALLEY RANCH CENTER ADDITION, LOT 4-B1, BLOCK 1,
LEGAL DESCRIPTION: DALLAS COUNTY, TEXAS AREA--0.919 ACRE (40,025 SF)

ISSUE DATE: 9 / 24 / 21

REVISION	ISSUE NAME	ISSUE DATE

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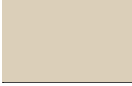




FACADE PLAN NOTES

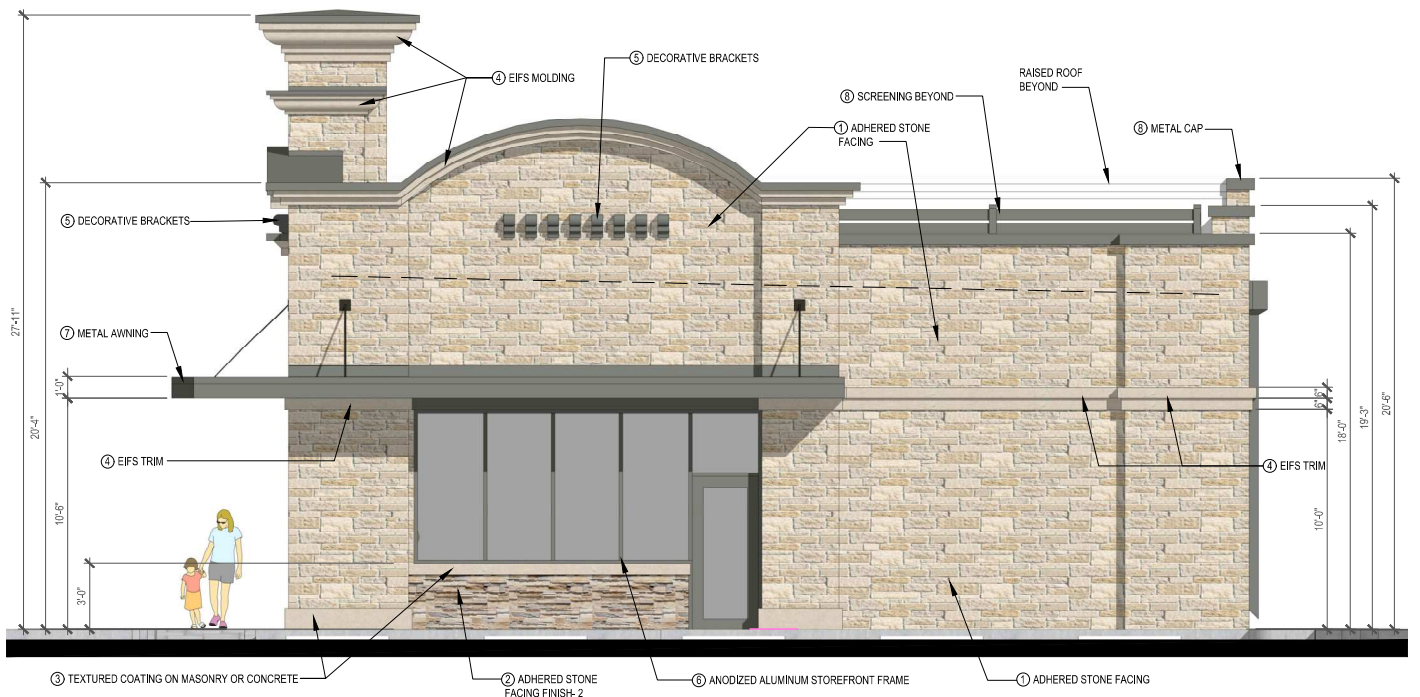
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AREA CALCULATIONS - WEST ELEVATION			
ITEM	MATERIAL	AREA	% OF TOTAL
1	ADHERED STONE FACING FINISH 1	623.92 SF	63.90 %
2	ADHERED STONE FACING FINISH 2	31.64 SF	3.24 %
3	MASONRY OR CONCRETE TRIM W/ TEXTURED FINISH	16.02 SF	1.64 %
4	EIFS CORNICE AND TRIM	61.75 SF	6.32 %
5	METAL AWNING	30.57 SF	3.13 %
6	METAL WALL CAP	70.19 SF	7.19 %
7	FENESTRATION (DOOR & WINDOWS)	128.43 SF	13.15 %
8	FLASHING	13.9 SF	1.42 %
TOTAL WEST ELEVATION AREA		976.42 SF	100 %

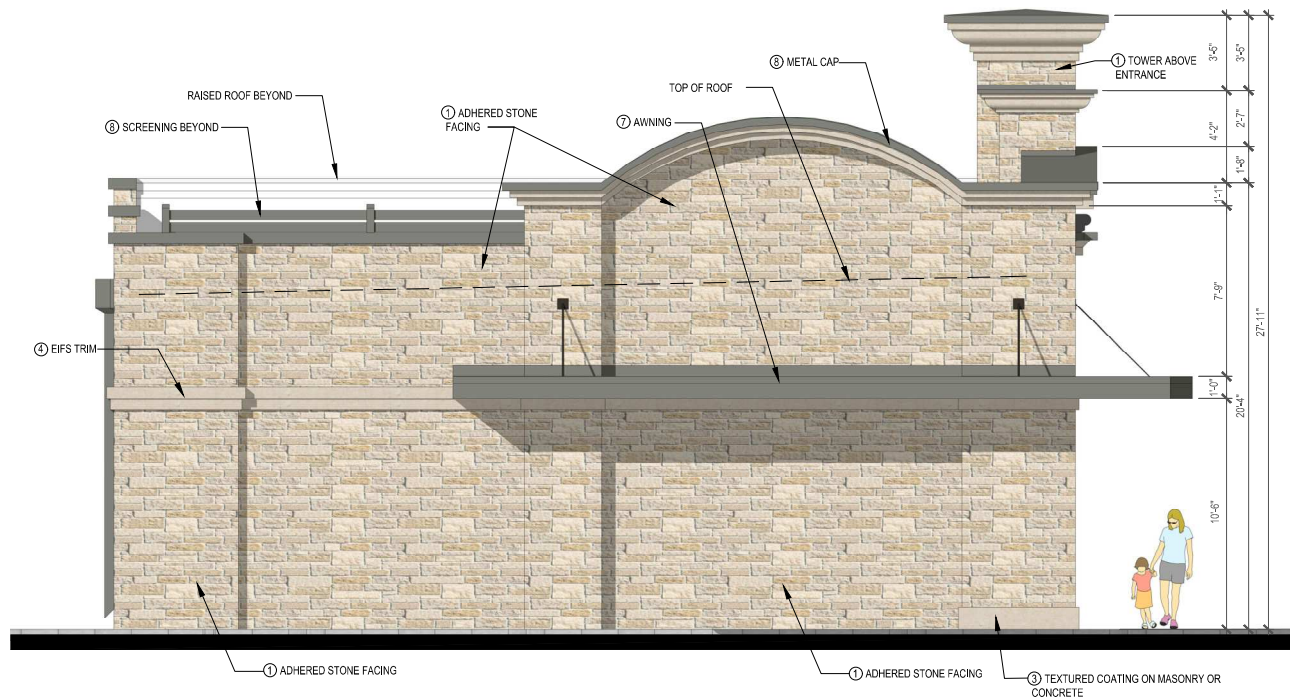
AREA CALCULATIONS - EAST ELEVATION			
ITEM	MATERIAL	AREA	% OF TOTAL
1	ADHERED STONE FACING FINISH 1	791.28 SF	80.53 %
2	ADHERED STONE FACING FINISH 2	0 SF	0 %
3	MASONRY OR CONCRETE TRIM W/ TEXTURED FINISH	5.48 SF	0.56 %
4	EIFS CORNICE AND TRIM	68.15 SF	6.93 %
5	METAL AWNING	33.57 SF	3.42 %
6	METAL WALL CAP	68.7 SF	6.99 %
7	FENESTRATION (DOOR & WINDOWS)	0 SF	0 %
8	FLASHING	15.46 SF	1.57 %
TOTAL EAST ELEVATION AREA		982.64 SF	100 %

MATERIAL LEGEND - REFERENCE MATERIAL/COLOR BOARD

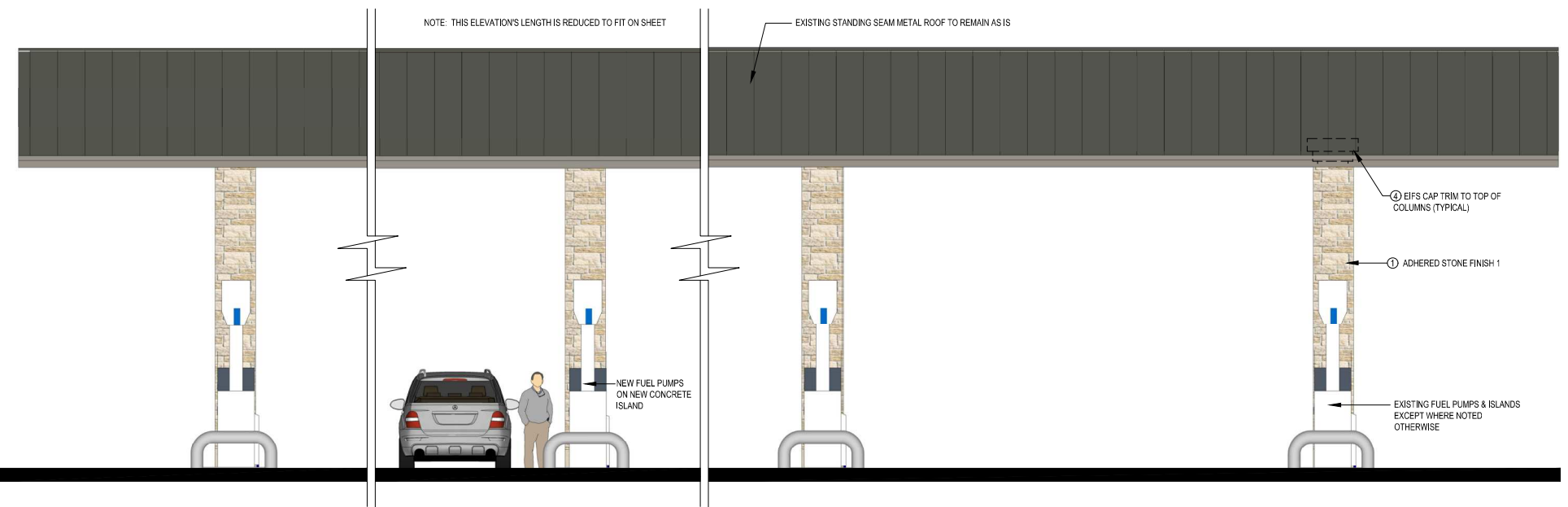
	① MATL/COLOR ADHERED STONE FACING FINISH 1 MFR./SUPPLIER - CORONADO STONES COLOR - TEXAS RUBBLE-TEXAS CREAM		② MATL/COLOR ADHERED STONE FACING FINISH 2 MFR./SUPPLIER - CORONADO STONES COLOR - PRO LEDGE OAKBROOK		③ MATL/COLOR MEDIUM TEXTURED COATING ON MASONRY/CONCRETE- SILL & BASE MFR./SUPPLIER - SHERWIN WILLIAMS CONFLX ULTRACRETE ACRYLIC TEXTURE COATING COLOR - SW7517 RIVERS EDGE MEDIUM TEXTURE		④ MATL/COLOR EIFS FINISH ON FOAM CORNICE & TRIM MFR./SUPPLIER - TBD COLOR - SW7517 RIVERS EDGE MEDIUM TEXTURE		⑤ MATL/COLOR EIFS FINISH ON FOAM BRACKETS EQUIPMENT SCREENINGS MFR./SUPPLIER - SHERWIN WILLIAMS COLOR - SW7088 GRIZZLE GRAY		⑥ MATL/COLOR METAL AWNING MFR./SUPPLIER - VICTORY AWNING COLOR - POWDER COATED BENJAMIN MOORE™ HC 166 KENDALL CHARCOAL (SATIN FINISH)		⑦ MATL/COLOR METAL ROOF CAP FLASHING / TRIM & STEEL DOORS/ROOF EQUIPMENT SCREENINGS MFR./SUPPLIER - POWDER COATED BENJAMIN MOORE™ HC COLOR - 166 KENDALL CHARCOAL (SATIN FINISH)		⑧ MATL/COLOR STAMPED CONCRETE MFR./SUPPLIER - FIELD APPLIED COLOR - PER MATERIAL BOARD SAMPLE/ PHOTO
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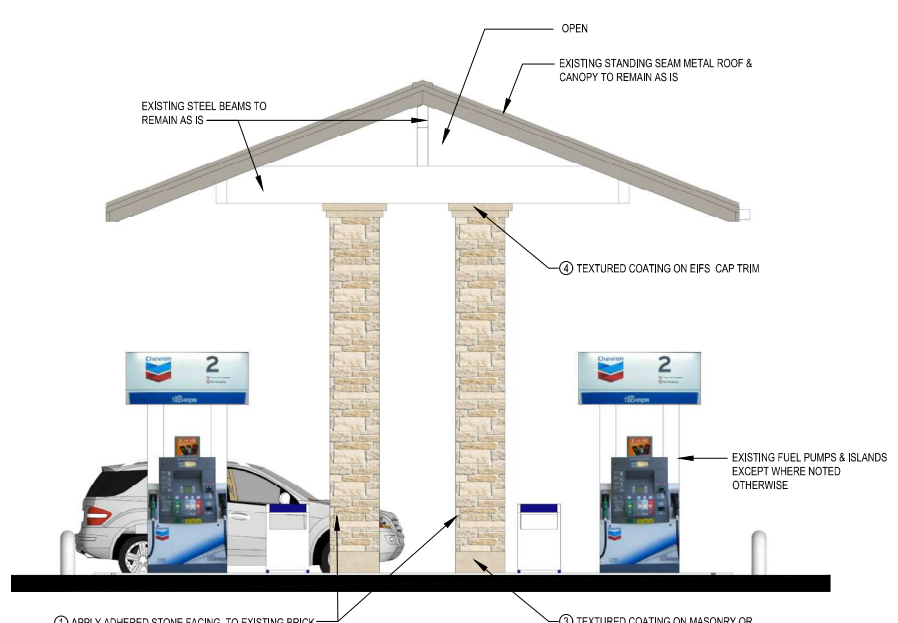
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION CANOPY SOUTH ELEVATION IS SAME
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION CANOPY EAST ELEVATION IS SAME
SCALE: 1/4" = 1'-0"

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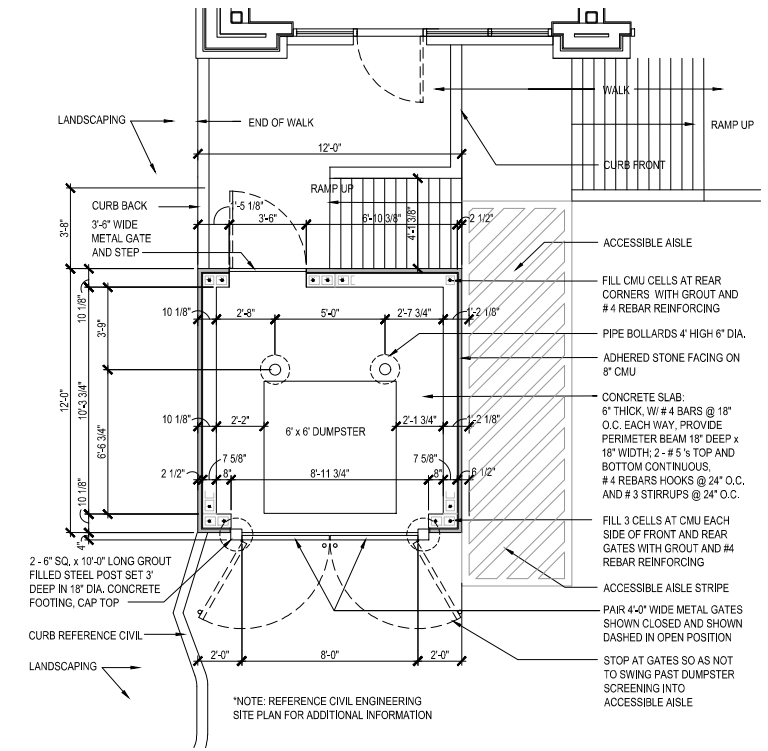
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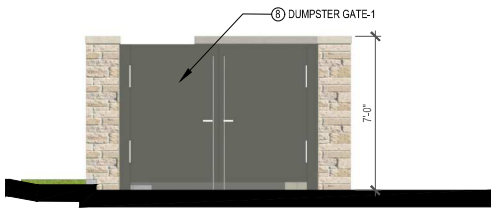
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1 FLOOR PLAN DUMPSTER SCREENING
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND - REFERENCE MATERIAL/COLOR BOARD

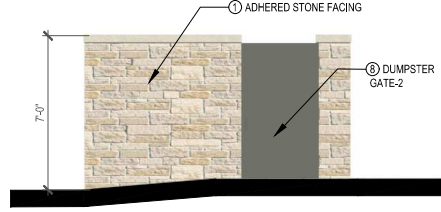
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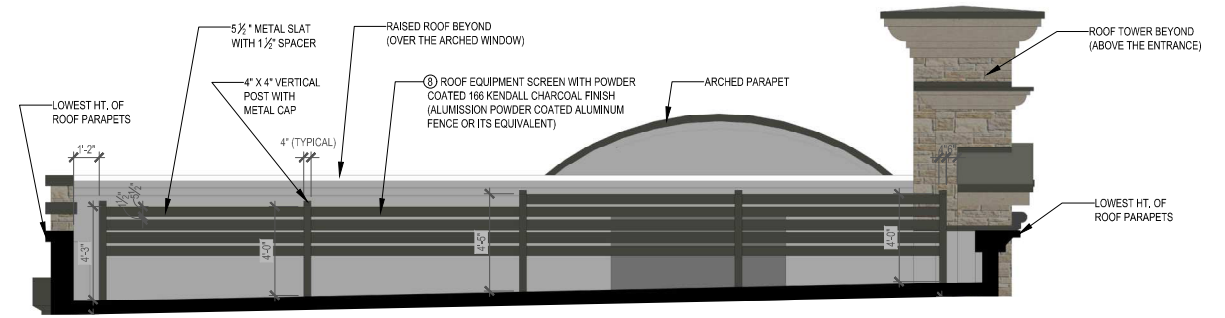
**2 NORTH ELEVATION
DUMPSTER SCREENING**
SCALE: 1/4" = 1'-0"



**3 WEST ELEVATION
DUMPSTER SCREENING** EAST ELEVATION IS SAME
SCALE: 1/4" = 1'-0"

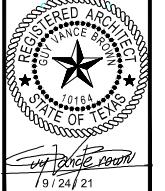


**4 SOUTH ELEVATION
DUMPSTER SCREENING**
SCALE: 1/4" = 1'-0"



5 ROOF EQUIPMENT SCREEN DETAIL
SCALE: 1/4" = 1'-0"

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1 AERIAL VIEW
SCALE: NOT TO SCALE



2 MAPLE MART VIEW
SCALE: NOT TO SCALE



3 VIEW FROM MAC ARTHUR BLVD
SCALE: NOT TO SCALE



4 REAR VIEW FROM MAC ARTHUR BLVD
SCALE: NOT TO SCALE



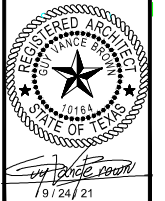
5 VIEW FROM E BELT LINE RD
SCALE: NOT TO SCALE



6 VIEW FROM ENTRANCE AT MAC ARTHUR BLVD
SCALE: NOT TO SCALE

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