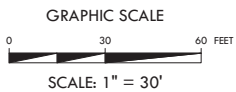


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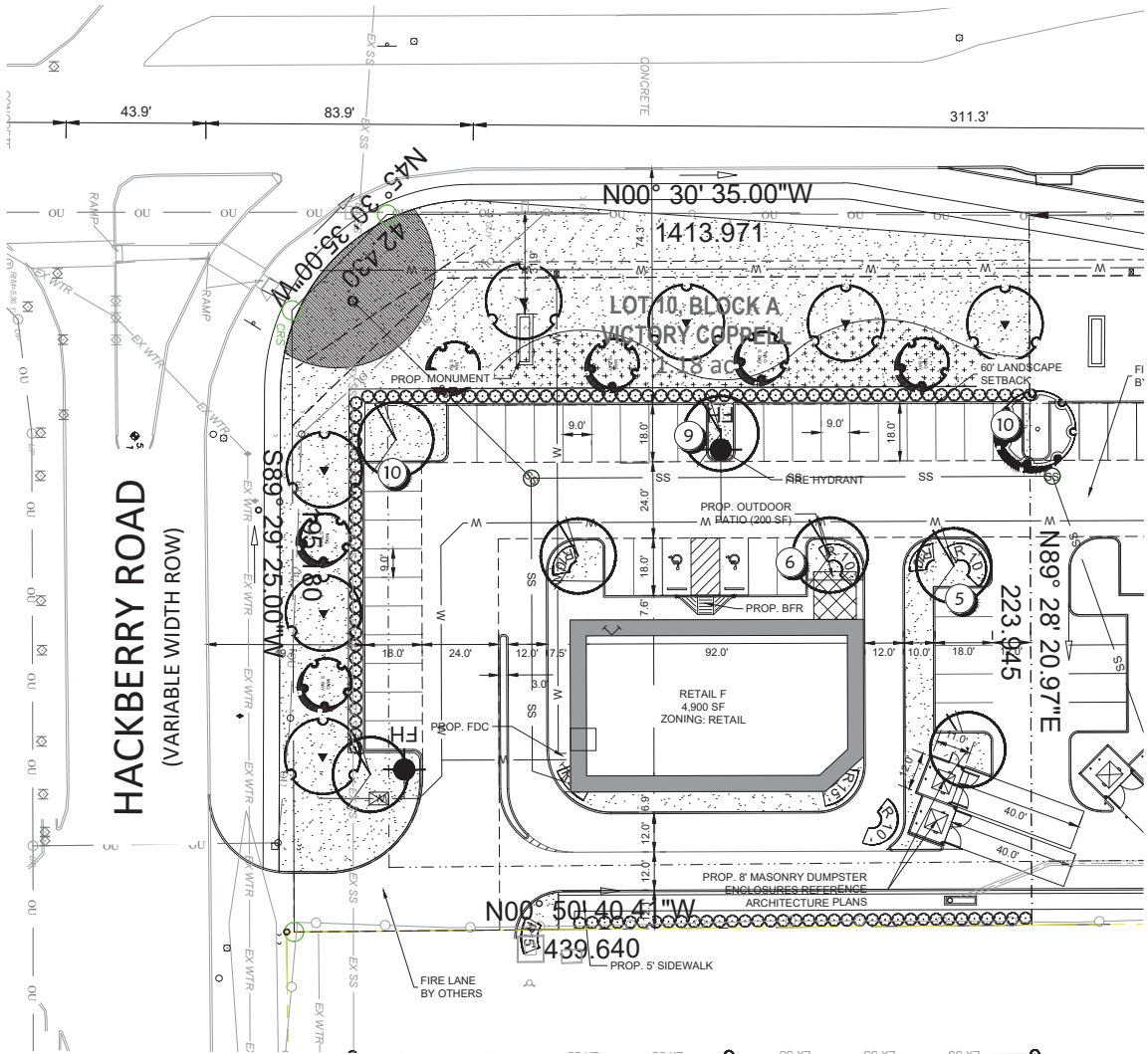
SHEET:  
**C3.0**



<p><b>OWNER/APPLICANT</b></p> <p>VICTORY REAL ESTATE GROUP</p> <p>2911 TURTLE CREEK BLVD, SUITE 700</p> <p>DALLAS, TX 75219</p> <p>PH: 214-646-6194</p> <p>EMAIL: BMENDOZA@VG-RE.COM</p> <p>CONTACT: BOBBY MENDOZA</p>	<p><b>LANDSCAPE ARCHITECT</b></p> <p>LONDON LANDSCAPES</p> <p>P.O. BOX 28</p> <p>COLLINSVILLE, TEXAS 76233</p> <p>PH: 817-850-0008</p> <p>EMAIL: AMY_LONDON@LONDON-LANDSCAPES.COM</p> <p>CONTACT: AMY LONDON, RLA</p>
<p><b>ENGINEER</b></p> <p>KIRKMAN ENGINEERING, LLC</p> <p>5200 STATE HIGHWAY 121</p> <p>COLLEVEYVILLE, TX 76034</p> <p>PH: 817-488-4400</p> <p>EMAIL: JOHN.GARDNER@TRUSTEES.COM</p> <p>CONTACT: JOHN GARDNER, PE</p>	<p><b>SURVEYOR</b></p> <p>BARTON CHAPA SURVEYING</p> <p>5200 STATE HIGHWAY 121</p> <p>COLLEVEYVILLE, TX 76034</p> <p>PH: 817-864-1957</p> <p>CONTACT: JACK BARTON, RPL</p>

**NOTE TO CONTRACTOR**  
THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

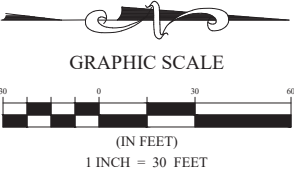
1. BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
2. DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
3. CURB RADIUS: UNLESS NOTED OTHERWISE, ALL CURB RADIUS SHALL BE 3' AT FACE OF CURB.
4. BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
6. ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE.
7. REFER TO SHEET(S) C.X.X - X.X FOR SITE DETAILS.



KEY

TREES					
	8	UL	Ulmus crassifolia	Cedar Elm	3\"/>
	7	QT	Quercus texana	Texas Red Oak	3\"/>
	6	MG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	3\"/>
SHRUBS					
	121	MYR	Myrica pusilla	Dwarf Wax Myrtle	3 Gal. Minimum 30\"/>
GROUNDCOVER					
	1,510 SF	TA	Trachelospermum asiaticum	Asian Jasmine	
	2,154 SF	OU	Ophiopogon japonicus	Mondo Grass	
	18,836 SF	SOD	Common Bermuda Grass	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
		EDGE	Metal Edging		Submit Colors for Approval by Landscape Architect or Owner

LANDSCAPE TABULATIONS	
	LOT 10
EXISTING ZONING	PD-301R2-HC
PROPOSED USE	RETAIL/RESTAURANT
LOT	1.18 AC
LANDSCAPE AREA	18,372 SF (36%)
NON VEHICULAR OPEN SPACE (SF)	18,372 SF
NON VEHICULAR OPEN SPACE (%)	36%
NON VEHICULAR OPEN SPACE TREES (REQ. AND PROV.)	6
PERIMETER LANDSCAPE AREA	16,351 SF
PERIMETER TREES (1/50 LF)	9 / 9
INTERIOR LANDSCAPE AREA (1/400 SF)	2,344 SF
INTERIOR TREES (REQ. AND PROV.)	6 / 6



IRRIGATION NOTE

ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



P.O. BOX 28 COLLINSVILLE, TEXAS 76233  
WWW.LONDON-LANDSCAPES.NET

SITE PLAN

CITY PROJECT NO. PD-301R2-HC  
VICTORY AT COPPELL RETAIL F  
VICTORY COPPELL ADDITION  
LOT 10, BLOCK A  
1.18 ACRES  
CITY OF COPPELL, TEXAS  
PREPARATION DATE: 11/3/2022

<b>OWNER/APPLICANT</b> VICTORY REAL ESTATE GROUP 2911 TURTLE CREEK BLVD, SUITE 700 DALLAS, TX 75219 PH: 469-646-6184 EMAIL: BMENDOZA@VG-RE.COM CONTACT: BOBBY MENDOZA	<b>LANDSCAPE ARCHITECT</b> LONDON LANDSCAPES P.O. BOX 28 COLLINSVILLE, TEXAS 76233 PH: 972-800-0676 EMAIL: AMY.LONDON@LONDON-LANDSCAPES.NET CONTACT: AMY LONDON, RLA
<b>ENGINEER</b> KIRKMAN ENGINEERING, LLC 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PH: 817-488-4960 EMAIL: JOHN.GARDNER@TRUSTKE.COM CONTACT: JOHN GARDNER, PE	<b>SURVEYOR</b> BARTON CHAPA SURVEYING 5200 STATE HIGHWAY 121 COLLEYVILLE, TX 76034 PH: 817-864-1957 CONTACT: JACK BARTON, RPLS



VICTORY GROUP  
Victory Real Estate Group

2911 TURTLE CREEK  
BLVD, STE 700  
DALLAS, TX 75219  
972-707-9555

VICTORY COPPELL  
RETAIL F  
LOT 10, BLOCK A  
CITY OF COPPELL  
DALLAS COUNTY, TEXAS

REV. DATE: DESCRIPTION:

**K**  
**kirkman**  
ENGINEERING  
KIRKMAN ENGINEERING, LLC  
5200 STATE HIGHWAY 121  
COLLEYVILLE, TX 76034  
TEXAS FIRM NO. 15874

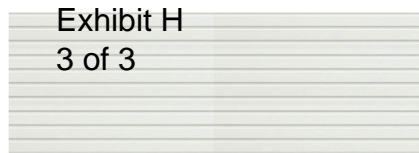
JOB NUMBER: VIC22022

ISSUE DATE: 12/9/22

LANDSCAPE  
PLAN

SHEET:

L1.00



NICHIHA RIBBED / AP-1



BRICK 1 - LIGHT BRICK



BRICK 2 - BEIGE BRICK



BRICK 3 - DARK BRICK



PAINT 1 / STUCCO 1  
TEXTURED COATING 1



PAINT 4 / STUCCO 4  
TEXTURED COATING 4



PAINT 2 / STUCCO 2  
TEXTURED COATING 2



PAINT 5 / STUCCO 5  
TEXTURED COATING 5



PAINT 3 / STUCCO 3  
TEXTURED COATING 3



PAINT 5 / STUCCO 5  
TEXTURED COATING 5



ARCHITECTURAL PANEL 2  
RUSTIC LOOK



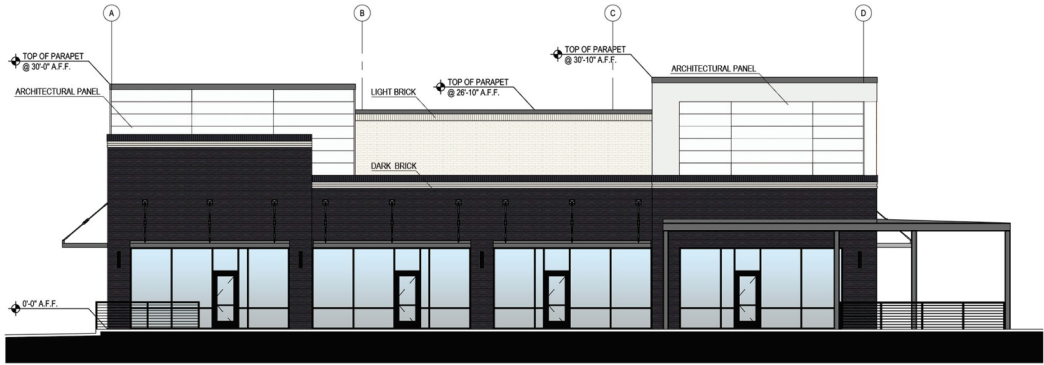
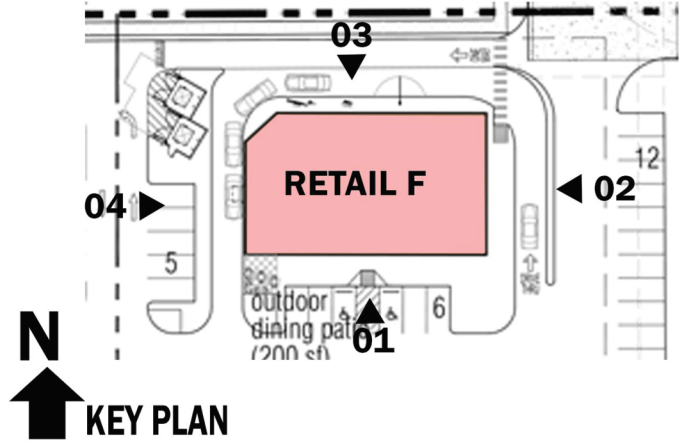
ALUMINUM STOREFRONT  
BLACK ANODIZED



METAL COPING 1 / METAL AWNING 1  
PREFINISHED METAL 1



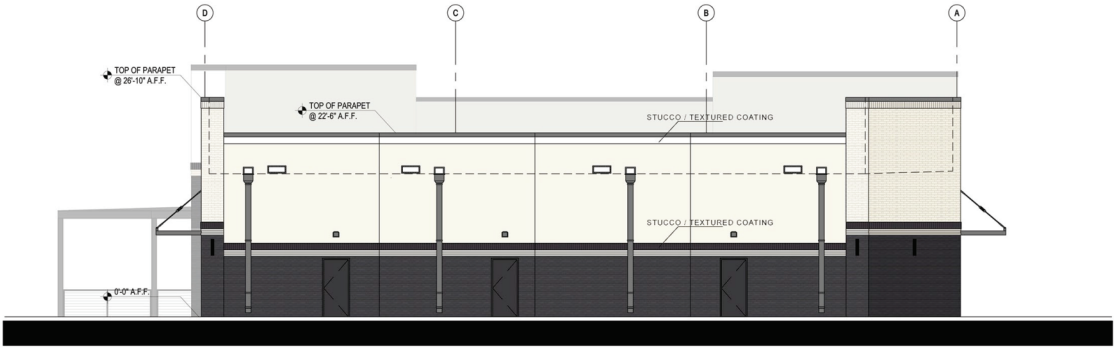
METAL AWNING 2



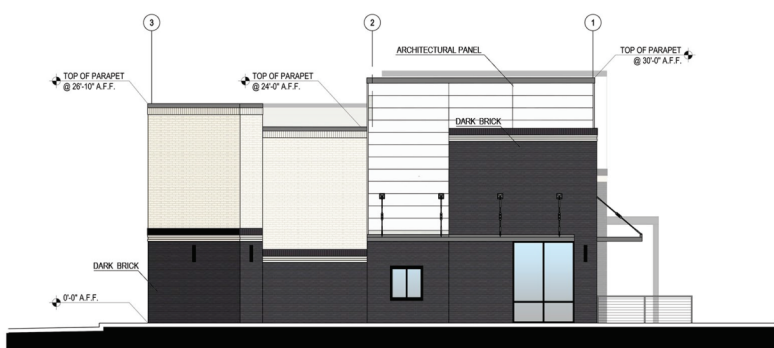
ELEVATION 01 (GLAZING, LESS THAN 50%)



ELEVATION 02



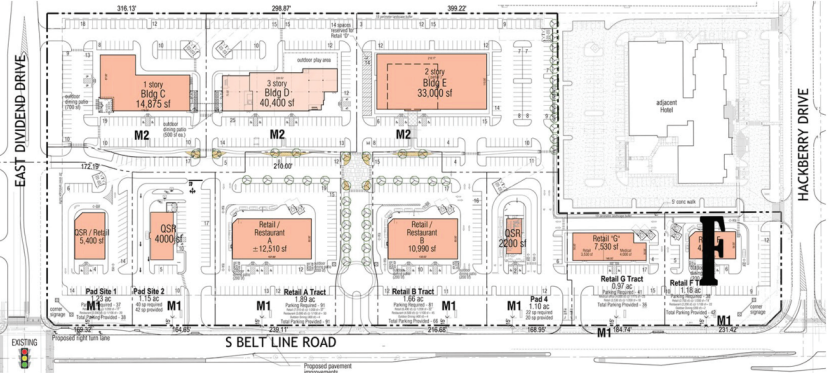
ELEVATION 03



ELEVATION 04



LOCATION PLAN



20079-01

# VICTORY SHOPS AT COPPELL -- COPPELL, TX

## Retail F

NOTE: ELEVATION RENDERING CONCEPTUAL STUDY IS PROVIDED TO RELAY DESIGN CONCEPT, VERTICAL/ HORIZONTAL ARTICULATION, AND MATERIAL DELINIATION. MATERIALS AND DETAIL SUBJECT TO CHANGE DURING DESIGN DEVELOPMENT. GENERAL DESIGN TO REMAIN IN SIMILAR CONTEXT AND COLOR PALLETTE.

11/15/22