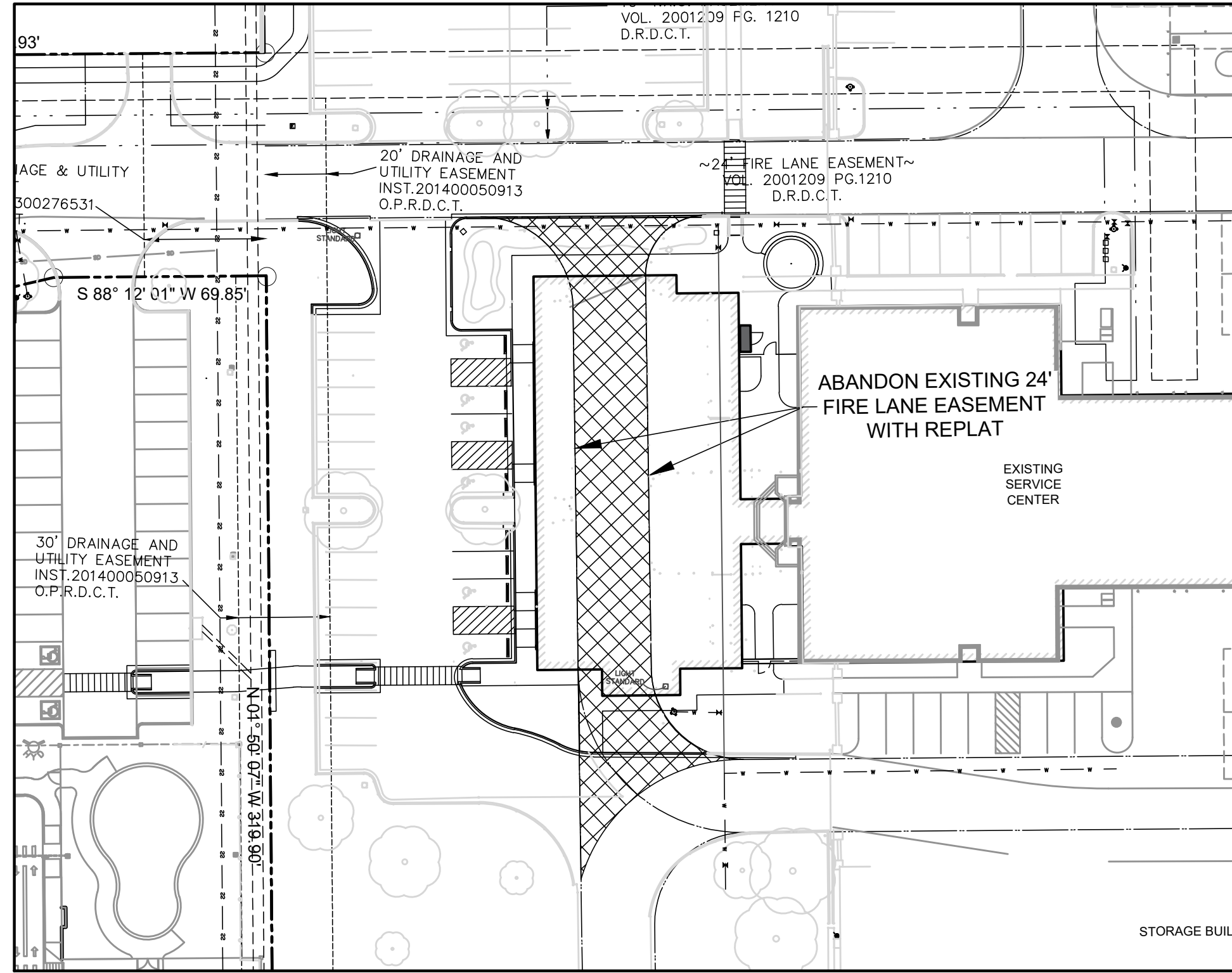




DETAIL A



VICINITY MAP

REMAINDER PORTION OF
LOT 1, BLOCK A
GRAPEVINE SPRINGS
COMMUNITY CENTER
20080382276
D.R.D.C.T.

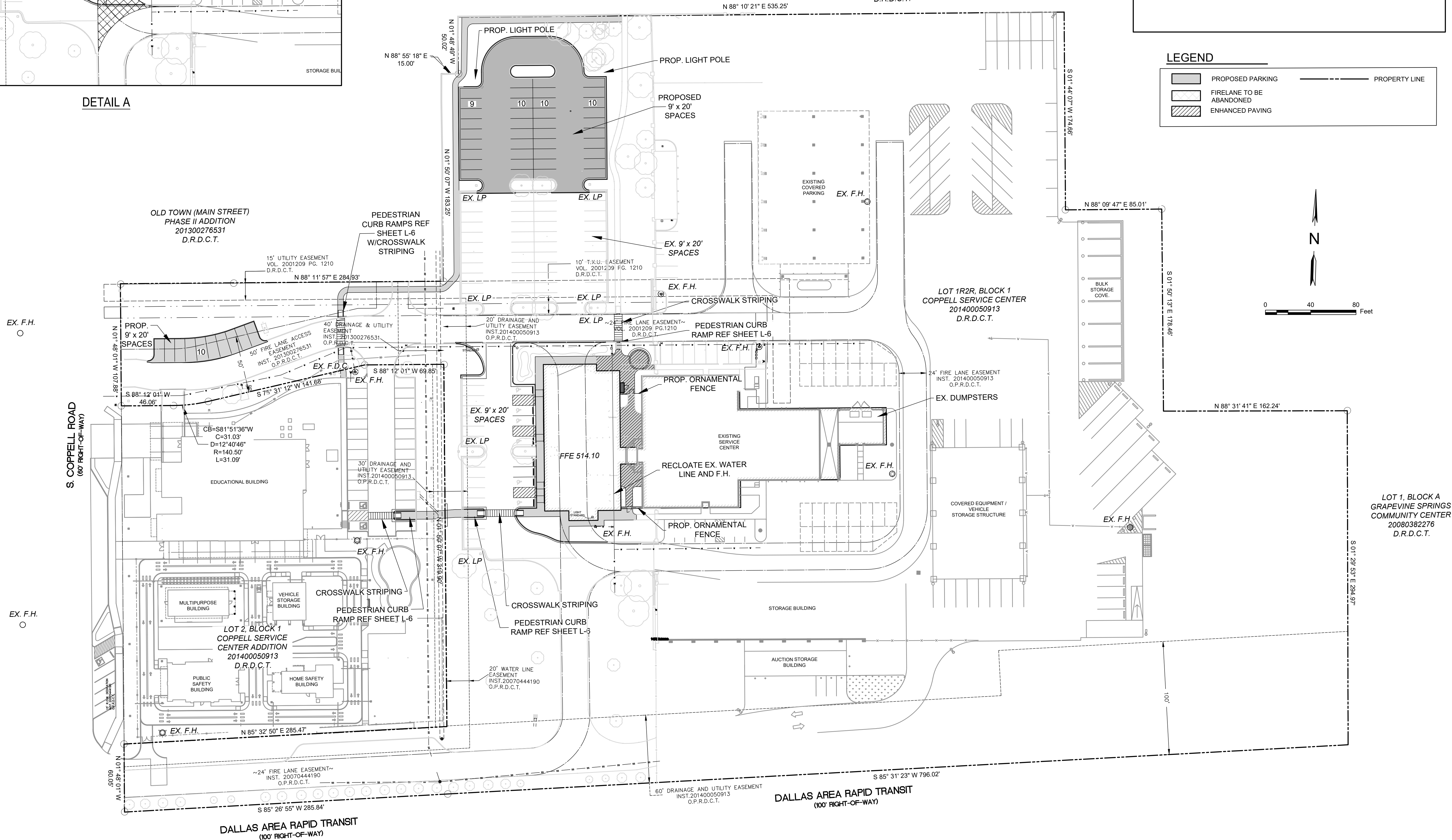
SITE DATA TABLE:

1. ZONING	
A. EXISTING BASE ZONING	- PD-108R5R2-H
B. SITE AREA	- 11.516 ACRES
C. NEW BUILDING ADDITION	- 8,664 SF
D. LOT COVERAGE	- 13.70%
E. IMPERMEABLE AREA	- 8.80 ac
D. EX. BUILDING - BUSINESS OCCUPANCY & STORAGE/MECHANICAL OCCUPANCY	
E. PROP. BUILDING - BUSINESS AND ASSEMBLY OCCUPANCY	
F. BUILDING HEIGHT	- 20 FEET
G. PARKING:	
EXISTING SPOTS	- 176 + 6 ADA
PROPOSED PARKING SPOTS	- 193 + 6 ADA
H. BUILDING AREA -	
EX. BUILDING	- 16,804 SF
PROP. BUILDING	- 8,664 SF

*ADDITIONAL PARKING TO ALSO SERVE LIFE SAFETY CENTER.

LEGEND

	PROPOSED PARKING		PROPERTY LINE
	FIRELANE TO BE ABANDONED		
	ENHANCED PAVING		



TREE STATEMENT

REFERENCE THE TREE SURVEY AND TREE PRESERVATION PLAN FOR THE LOCATION OF THE TREES THAT ARE TO REMAIN/TO BE REMOVED.

PD CONDITIONS:

- Building elevations proposed are conceptual, and detail plan approval, including elevation details and materials may qualify for administrative approval by the Director of Community Development.
- Landscaping shall be provided as shown on the landscape plan.
- Site Plan to be approved as submitted.

COPPELL SERVICE CENTER
LOT 1R2 AND LOT 2, BLOCK 1

JANUARY 15, 2024

OWNER
CITY OF COPPELL
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CONTACT: JAMIE BRIERTON
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ENGINEER / APPLICANT
PARKHILL
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