

MASTER PLAN DATA

BUILDING 1		
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	PD
PROPOSED USE	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	
LAND AREA	312,290 S.F./7.2 AC.	
BUILDING AREA	108,360 S.F.	
LOT COVERAGE	34.5%	
FLOOR AREA RATIO (F.A.R.)	34.5%	
BUILDING HEIGHT	40'-5"	
PARKING REQUIRED		
OFFICE - 5% @ 1:300 S.F.	18 SPACES	
WAREHOUSE - 95% @ 1:2,500 S.F.	42 SPACES	
TOTAL PARKING REQUIRED	60 SPACES	
PARKING PROVIDED	160 SPACES	
BUILDING 2		
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	PD
PROPOSED USE	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	
LAND AREA	466,112 S.F./10.7 AC.	
BUILDING AREA	142,080 S.F.	
LOT COVERAGE	30.4%	
FLOOR AREA RATIO (F.A.R.)	30.4%	
BUILDING HEIGHT	41'-0"	
PARKING REQUIRED		
OFFICE - 5% @ 1:300 S.F.	24 SPACES	
WAREHOUSE - 95% @ 1:2,500 S.F.	54 SPACES	
TOTAL PARKING REQUIRED	78 SPACES	
PARKING PROVIDED	204 SPACES	
BUILDING 3		
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	PD
PROPOSED USE	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	
LAND AREA	1,292,904 S.F./29.68 AC.	
BUILDING AREA	423,720 S.F.	
LOT COVERAGE	32.7%	
FLOOR AREA RATIO (F.A.R.)	32.7%	
BUILDING HEIGHT	40'-10"	
PARKING REQUIRED		
OFFICE - 5% @ 1:300 S.F.	71 SPACES	
WAREHOUSE - 95% @ 1:2,500 S.F.	161 SPACES	
TOTAL PARKING REQUIRED	232 SPACES	
PARKING PROVIDED	384 SPACES	
BUILDING 4 - SUBARU BTS		
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	PD
PROPOSED USE	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	
LAND AREA	1,120,672 S.F./25.72 AC.	
BUILDING AREA		
OFFICE	7,056 S.F.	
TRAINING CENTER	6,171 S.F.	
SHOP AREA	7,025 S.F.	
WAREHOUSE	280,108 S.F.	
BUILDING AREA	300,360 S.F.	
EXPANSION AREA	200,240 S.F.	
TOTAL BUILDING AREA	500,600 S.F.	
LOT COVERAGE (W/ EXPANSION)	44.6%	
FLOOR AREA RATIO (W/ EXPANSION)	44.6%	
BUILDING HEIGHT	50'-1"	
PARKING REQUIRED		
OFFICE - 1:300 S.F.	23.52 SPACES	
TRAINING CENTER - 1:300 S.F.	20.57 SPACES	
SHOP AREA - 1:1,000 S.F.	7 SPACES	
WAREHOUSE - 1:2,500 S.F.	112 SPACES	
TOTAL PARKING REQUIRED	164 SPACES	
PARKING PROVIDED	175 SPACES	
TRAILER STORAGE	40 STALLS	
BUILDING 5		
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	PD
PROPOSED USE	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	
LAND AREA	582,129 S.F./13.36 AC.	
BUILDING AREA	193,500 S.F.	
LOT COVERAGE	33.2%	
FLOOR AREA RATIO (F.A.R.)	33.2%	
BUILDING HEIGHT	44'-11"	
PARKING REQUIRED		
OFFICE - 5% @ 1:300 S.F.	33 SPACES	
WAREHOUSE - 95% @ 1:2,500 S.F.	74 SPACES	
TOTAL PARKING REQUIRED	107 SPACES	
PARKING PROVIDED	180 SPACES	
BUILDING 6		
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	PD
PROPOSED USE	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)	
LAND AREA	521,863 S.F./12.0 AC.	
BUILDING AREA	153,340 S.F.	
LOT COVERAGE	29.3%	
FLOOR AREA RATIO (F.A.R.)	29.3%	
BUILDING HEIGHT	43'-0"	
PARKING REQUIRED		
OFFICE - 5% @ 1:300 S.F.	26 SPACES	
WAREHOUSE - 95% @ 1:2,500 S.F.	59 SPACES	
TOTAL PARKING REQUIRED	85 SPACES	
PARKING PROVIDED	171 SPACES	
TRAILER STORAGE	30 STALLS	
TOTAL BUILDING AREA	1,321,360 S.F.	
FREEPORT R.O.W. AREA	343,690 S.F./7.9 AC.	
CHANNEL/DETENTION AREA	197,834 S.F./4.5 AC.	
UNUSED LAND	161,160 S.F./3.7 AC.	
GROSS LAND AREA	4,799,962 S.F./110.2 AC.	
GROSS COVERAGE	27.5%	
NET LAND AREA	4,097,278 S.F./94.1 AC.	
NET COVERAGE	32.2%	

DRC PLAN COMMENT RESPONSES:

- BUILDING INSPECTION:**
1. TYPICAL CONSTRUCTION TYPE: TYPE II-B
 2. FIRE PROTECTION TYPE: ESFR
 3. OCCUPANCY TYPE: GROUP S1
 4. OCCUPANCY LOAD: OFFICE-100 SF/PERSON
WAREHOUSE-500 SF/PERSON
 5. EXIT WIDTH: TOTAL OCCUPANTS X 0.15"= MINIMUM EXIT WIDTH REQUIRED

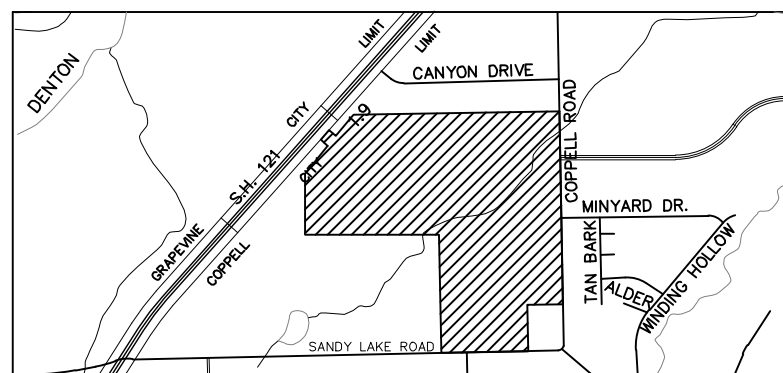
- FIRE DEPARTMENT**
1. FIRE HYDRANTS SHALL BE SPACED AT 300' (MAX.) ALONG FIRE LANE EASEMENTS.
 2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 3' AND 6' FROM FIRE LANE EASEMENT.
 3. FIRE DEPARTMENT CONNECTION (FDC) SHALL BE LOCATED ADJACENT (3') FROM FIRE HYDRANT.
 4. EACH BUILDING SHALL BE EQUIPPED WITH A FIRE PUMP (BASED ON HYDRAULIC CALCULATIONS)
 5. ANY FUTURE GATES CROSSING FIRE LANE EASEMENTS SHALL BE EQUIPPED WITH BI-DIRECTIONAL GTTY OPTICOM RECEIVERS AND KNOX PADLOCK OVERRIDES FOR EMERGENCY ACCESS.
 6. USE OF ANY TRAFFIC CALMING DEVICES MUST BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.

DEVELOPER
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LOCATION MAP

NO SCALE

LEGEND
PP - POWER POLE (APPRX. LOCATION)

PROLOGIS PARK ONE TWENTY ONE

3200 AND 3202 STATE HIGHWAY , COPPELL, TEXAS



PROJECT NO.

SHEET TITLE:

DRAWN BY:

CHECKED BY:



PROLOGIS™

2501 N. Harwood | Ste. 2450

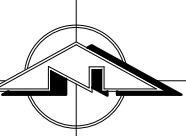
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DATE: 02-25-15 SHEET: A1.00



AMENDED CONCEPT PLAN

'PD-272'

SCALE: 1" = 150'-0"