

MASTER PLAN DATA

BUILDING 1	PD
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)
PROPOSED USE	WAREHOUSE - 5% @ 1,300 S.F.
LAND AREA	312,280 S.F./7.2 AC.
BUILDING AREA	108,360 S.F.
LOT COVERAGE	34.5%
FLOOR AREA RATIO (F.A.R.)	34.5%
BUILDING HEIGHT	47'-0"
PARKING REQUIRED	18 SPACES
OFFICE - 5% @ 1,300 S.F.	42 SPACES
WAREHOUSE - 95% @ 12,500 S.F.	60 SPACES
TOTAL PARKING REQUIRED	102 SPACES
PARKING PROVIDED	160 SPACES
BUILDING 2	PD
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)
PROPOSED USE	WAREHOUSE - 5% @ 1,300 S.F.
LAND AREA	486,112 S.F./10.7 AC.
BUILDING AREA	142,080 S.F.
LOT COVERAGE	30.4%
FLOOR AREA RATIO (F.A.R.)	30.4%
BUILDING HEIGHT	47'-0"
PARKING REQUIRED	24 SPACES
OFFICE - 5% @ 1,300 S.F.	54 SPACES
WAREHOUSE - 95% @ 12,500 S.F.	78 SPACES
TOTAL PARKING REQUIRED	102 SPACES
PARKING PROVIDED	204 SPACES
BUILDING 3	PD
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)
PROPOSED USE	WAREHOUSE - 5% @ 1,300 S.F.
LAND AREA	1,293,079 S.F./29.65 AC.
BUILDING AREA	423,720 S.F.
LOT COVERAGE	32.7%
FLOOR AREA RATIO (F.A.R.)	32.7%
BUILDING HEIGHT	47'-0"
PARKING REQUIRED	71 SPACES
OFFICE - 5% @ 1,300 S.F.	161 SPACES
WAREHOUSE - 95% @ 12,500 S.F.	232 SPACES
TOTAL PARKING REQUIRED	393 SPACES
PARKING PROVIDED	384 SPACES
TRAILER STORAGE	72 STALLS
BUILDING 4	PD
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)
PROPOSED USE	WAREHOUSE - 5% @ 1,300 S.F.
LAND AREA	1,099,147 S.F./25.23 AC.
BUILDING AREA	7,025 S.F.
TRAINING CENTER	281,138 S.F.
WAREHOUSE	300,360 S.F.
BUILDING AREA	200,240 S.F.
EXPANSION AREA	500,600 S.F.
LOT COVERAGE (W/ EXPANSION)	45.5%
FLOOR AREA RATIO (W/ EXPANSION)	45.5%
BUILDING HEIGHT	47'-0"
PARKING REQUIRED	23.52 SPACES
OFFICE - 1:300 S.F.	20.57 SPACES
TRAINING CENTER - 1:300 S.F.	7 SPACES
WAREHOUSE - 1:2:500 S.F.	140 SPACES
TOTAL PARKING REQUIRED	191 SPACES
PARKING PROVIDED	210 SPACES
TRAILER STORAGE	40 STALLS
BUILDING 5	PD
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)
PROPOSED USE	WAREHOUSE - 5% @ 1,300 S.F.
LAND AREA	603,479 S.F./13.85 AC.
BUILDING AREA	193,500 S.F.
LOT COVERAGE	32.0%
FLOOR AREA RATIO (F.A.R.)	32.0%
BUILDING HEIGHT	44'-11"
PARKING REQUIRED	33 SPACES
OFFICE - 5% @ 1,300 S.F.	74 SPACES
WAREHOUSE - 95% @ 12,500 S.F.	107 SPACES
TOTAL PARKING REQUIRED	181 SPACES
PARKING PROVIDED	160 SPACES
BUILDING 6	PD
ZONING	WAREHOUSE (RACK STORAGE W/ CLASS IV COMMODITIES)
PROPOSED USE	WAREHOUSE - 5% @ 1,300 S.F.
LAND AREA	521,883 S.F./12.0 AC.
BUILDING AREA	153,600 S.F.
LOT COVERAGE	29.3%
FLOOR AREA RATIO (F.A.R.)	29.3%
BUILDING HEIGHT	43'-0"
PARKING REQUIRED	26 SPACES
OFFICE - 5% @ 1,300 S.F.	59 SPACES
WAREHOUSE - 95% @ 12,500 S.F.	85 SPACES
TOTAL PARKING REQUIRED	171 SPACES
PARKING PROVIDED	171 SPACES
TRAILER STORAGE	30 STALLS
TOTAL BUILDING AREA	1,321,620 S.F.
FREEPORT R.O.W. AREA	343,690 S.F./7.9 AC.
CHANNEL/DETENTION AREA	107,834 S.F./2.43 AC.
UNUSABLE LAND	161,180 S.F./3.7 AC.
GROSS LAND AREA	4,799,962 S.F./110.2 AC.
GROSS COVERAGE	27.5%
NET LAND AREA	4,097,278 S.F./94.1 AC.
NET COVERAGE	32.2%

TREE MITIGATION TABULATIONS: revised 5.13.14

Total caliper inches of trees on site	15,769.5"
Total caliper of protected trees under Building Pad (6" and greater):	-4,896"
NO RETRIBUTION REQUIRED	
Total Caliper inches in ROW	-3,702"
NO RETRIBUTION REQUIRED	
Total caliper inches of protected trees removed (6" cal. and greater):	-5,065"
Total caliper inches of trees saved (6" and greater):	+2,106.5"
Preservation credit 20.3%	+1,487"
Required retribution	-3,578"
Total caliper inches of trees provided (refer to Landscape Plan)	1,945
(650) trees, 3" cal. max. by ordinance	+1,024"
(650) @ 3" cal. (50% max.)	+2,478"
(301) @ 4" cal. (100%)	
(826) @ 3" cal. (100%)	
Net Retribution	+1,097"
NOTE:	
Final determination of tree mitigation will be upon site plan submittal of the first building.	
* NOTE: (826) EVERGREEN TREES PROVIDED @ 3" CAL. MIN. PD REQUEST TO ALLOW A MITIGATION OF 2,478 INCHES FOR THESE TREES	

LANDSCAPE TABULATIONS: SUBARU LOT 4

PERIMETER LANDSCAPE	
Requirements: Street Frontage shall contain a 15' landscape buffer with one (1) tree, 3" cal. 12" above ground, per 50 ft. and 30" ht. parking lot screen: hedge or berm. Perimeter landscape areas shall contain a 10' landscape buffer along property lines with one (1) tree, 3" cal. 12" above ground, per 50 ft.	
North Property Line: (1,288.07 ft.)	Provided (25) trees, 3" cal. min.
Required (25) trees	
West Property Line: (860.83 ft.)	Provided (17) trees, 3" cal. min.
Required (17) trees	
South Property Line: (1,276.11 ft.)	Provided (25) trees, 3" cal. min.
Required (25) trees	
COPPELL ROAD: (867.07 ft.)	Provided (15) trees, 3" cal. min.
Required (15) trees	
INTERIOR LANDSCAPE	
Requirements: 10% of gross parking area to be landscape. One (1) tree per 400 s.f. of required landscape area.	
Parking Lot: 83,981 s.f.	Provided (24) trees, 3" cal. min.
Parking Spaces: 210	
Required (8,392 s.f. (10%))	
(21) trees, 3" cal.	
OPEN SPACE	
Requirements: 15% of lot not covered by buildings to be landscape open space. One (1) tree per 2500 s.f. of open space.	
TOTAL LOT AREA: (Exclusive of building): 596,547 s.f.	
Required (89,782 s.f. (15%))	Provided (92) trees, 3" cal. min.
(36) trees	(225) evergreen ornamental, 3" cal.
SUMMARY	
Total trees required: (104) trees	
Total trees provided: (196) trees, 3" cal. min.	
(225) evergreen trees, 3" cal.	

LANDSCAPE TABULATIONS: LOT 1

PERIMETER LANDSCAPE	
Requirements: Street Frontage shall contain a 15' landscape buffer with one (1) tree, 3" cal. 12" above ground, per 50 ft. and 30" ht. parking lot screen: hedge or berm. Perimeter landscape areas shall contain a 10' landscape buffer along property lines with one (1) tree, 3" cal. 12" above ground, per 50 ft.	
North Property Line: (860.51 ft.)	Provided (14) trees, 3" cal. min.
Required (14) trees	
East Property Line: (484.81 ft.)	Provided (10) trees, 3" cal. min.
Required (10) trees	
South Property Line: (653.66 ft.)	Provided (13) trees, 3" cal. min.
Required (13) trees	
Freeport Parkway: (456 ft.)	Provided (9) trees, 3" cal. min.
Required (9) trees	
INTERIOR LANDSCAPE	
Requirements: 10% of gross parking area to be landscape. One (1) tree per 400 s.f. of required landscape area.	
Parking Lot: 83,278 s.f.	Provided (16) trees, 3" cal. min.
Parking Spaces: 158	
Required (8,328 s.f. (10%))	Provided (7,470 s.f. (11.8%))
(16) trees, 3" cal.	(16) trees, 3" cal. min.
OPEN SPACE	
Requirements: 15% of lot not covered by buildings to be landscape open space. One (1) tree per 2500 s.f. of open space.	
TOTAL LOT AREA: (Exclusive of building): 203,950 s.f.	
Required (30,593 s.f. (15%))	Provided (43,584 s.f. (21.2%))
(12) trees	(12) trees, 3" cal. min.
SUMMARY	
Total trees required: (74) trees	
Total trees provided: (74) trees, 3" cal. min.	
(-) trees, 7" ht.	

LANDSCAPE TABULATIONS: LOT 2

PERIMETER LANDSCAPE	
Requirements: Street Frontage shall contain a 15' landscape buffer with one (1) tree, 3" cal. 12" above ground, per 50 ft. and 30" ht. parking lot screen: hedge or berm. Perimeter landscape areas shall contain a 10' landscape buffer along property lines with one (1) tree, 3" cal. 12" above ground, per 50 ft.	
North Property Line: (1,119.66 ft.)	Provided (22) trees, 3" cal. min.
Required (22) trees	
East Property Line: (406.66 ft.)	Provided (8) trees, 3" cal. min.
Required (8) trees	
South Property Line: (1,629.11 ft.)	Provided (22) trees, 3" cal. min.
Required (22) trees	
Freeport Parkway: (430.41 ft.)	Provided (9) trees, 3" cal. min.
Required (9) trees	
INTERIOR LANDSCAPE	
Requirements: 10% of gross parking area to be landscape. One (1) tree per 400 s.f. of required landscape area.	
Parking Lot: 89,893 s.f.	Provided (16) trees, 3" cal. min.
Parking Spaces: 204	
Required (8,998 s.f. (10%))	Provided (9,558 s.f. (10.6%))
(23) trees, 3" cal.	(23) trees, 3" cal. min.
OPEN SPACE	
Requirements: 15% of lot not covered by buildings to be landscape open space. One (1) tree per 2500 s.f. of open space.	
TOTAL LOT AREA: (Exclusive of building): 324,752 s.f.	
Required (48,712 s.f. (15%))	Provided (67,755 s.f. (21.3%))
(19) trees	(19) trees, 3" cal. min.
SUMMARY	
Total trees required: (103) trees	
Total trees provided: (103) trees, 3" cal. min.	
(-) trees, 7" ht.	

LANDSCAPE TABULATIONS: LOT 3

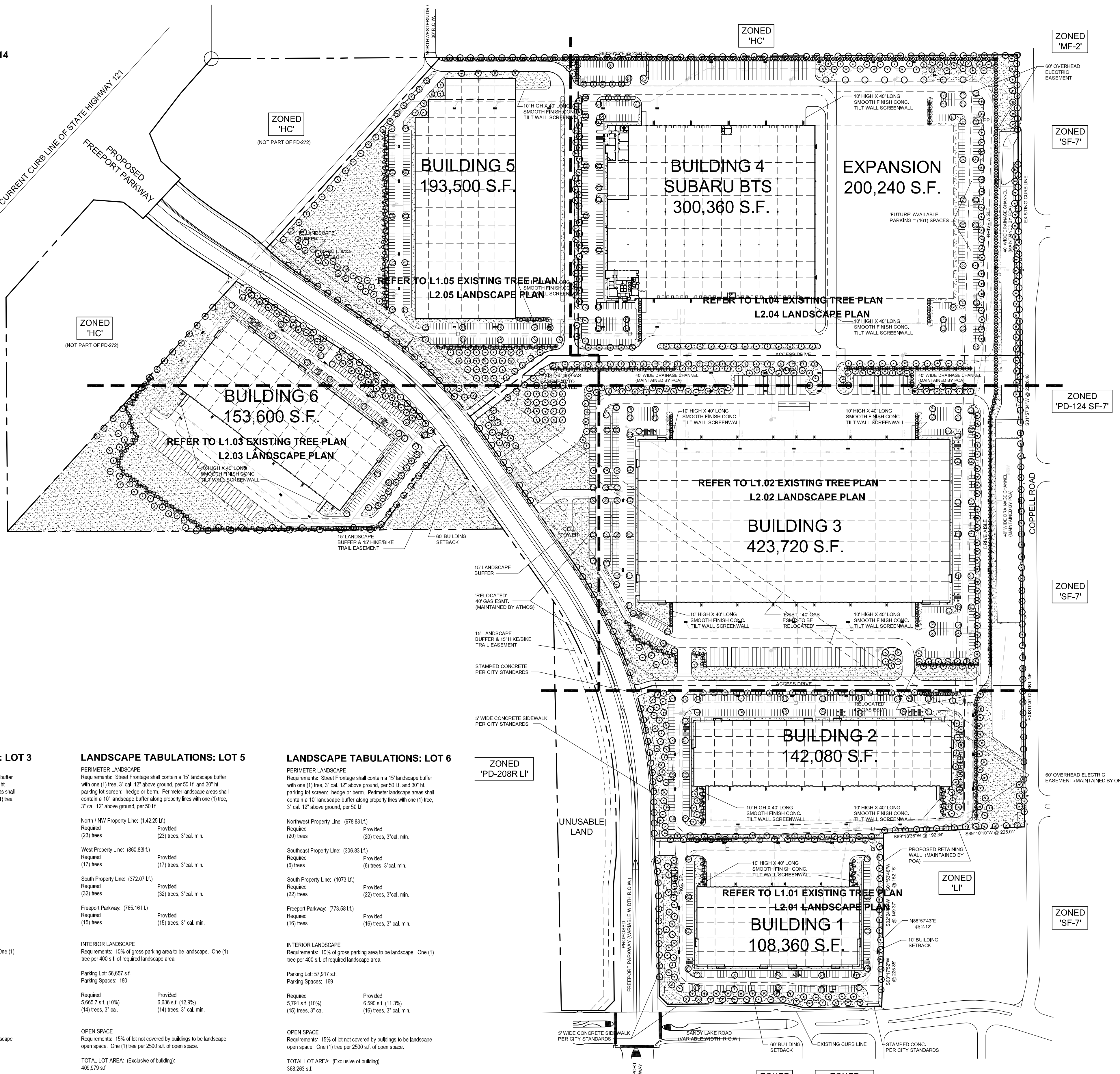
PERIMETER LANDSCAPE	
Requirements: Street Frontage shall contain a 15' landscape buffer with one (1) tree, 3" cal. 12" above ground, per 50 ft. and 30" ht. parking lot screen: hedge or berm. Perimeter landscape areas shall contain a 10' landscape buffer along property lines with one (1) tree, 3" cal. 12" above ground, per 50 ft.	
North Property Line: (1,615.51 ft.)	Provided (32) trees, 3" cal. min.
Required (32) trees	
East Property Line: (849.50 ft.)	Provided (17) trees, 3" cal. min.
Required (17) trees	
South Property Line: (1,119.66 ft.)	Provided (22) trees, 3" cal. min.
Required (22) trees	
Freeport Parkway: (934.51 ft.)	Provided (19) trees, 3" cal. min.
Required (19) trees	
INTERIOR LANDSCAPE	
Requirements: 10% of gross parking area to be landscape. One (1) tree per 400 s.f. of required landscape area.	
Parking Lot: 133,585 s.f.	Provided (14) trees, 3" cal. min.
Parking Spaces: 384	
Required (13,358 s.f. (10%))	Provided (15,236 s.f. (11.4%))
(34) trees, 3" cal.	(44) trees, 3" cal. min.
OPEN SPACE	
Requirements: 15% of lot not covered by buildings to be landscape open space. One (1) tree per 2500 s.f. of open space.	
TOTAL LOT AREA: (Exclusive of building): 889,359 s.f.	
Required (130,403 s.f. (15%))	Provided (199,139 s.f. (25.3%))
(52) trees	(129) trees, 3" cal. min.
SUMMARY	
Total trees required: (176) trees	
Total trees provided: (305) trees, 3" cal. min.	
(247) evergreen trees, 3" cal.	

LANDSCAPE TABULATIONS: LOT 4

PERIMETER LANDSCAPE	
Requirements: Street Frontage shall contain a 15' landscape buffer with one (1) tree, 3" cal. 12" above ground, per 50 ft. and 30" ht. parking lot screen: hedge or berm. Perimeter landscape areas shall contain a 10' landscape buffer along property lines with one (1) tree, 3" cal. 12" above ground, per 50 ft.	
North / NW Property Line: (1,422.51 ft.)	Provided (23) trees, 3" cal. min.
Required (23) trees	
West Property Line: (860.83 ft.)	Provided (17) trees, 3" cal. min.
Required (17) trees	
South Property Line: (372.07 ft.)	Provided (32) trees, 3" cal. min.
Required (32) trees	
Freeport Parkway: (765.16 ft.)	Provided (15) trees, 3" cal. min.
Required (15) trees	
INTERIOR LANDSCAPE	
Requirements: 10% of gross parking area to be landscape. One (1) tree per 400 s.f. of required landscape area.	
Parking Lot: 56,657 s.f.	Provided (14) trees, 3" cal. min.
Parking Spaces: 180	
Required (5,665.7 s.f. (10%))	Provided (6,636 s.f. (12.9%))
(14) trees, 3" cal.	(15) trees, 3" cal. min.
OPEN SPACE	
Requirements: 15% of lot not covered by buildings to be landscape open space. One (1) tree per 2500 s.f. of open space.	
TOTAL LOT AREA: (Exclusive of building): 409,879 s.f.	
Required (61,496 s.f. (15%))	Provided (141,208 s.f. (34.4%))
(25) trees	(46) trees, 3" cal. min.
SUMMARY	
Total trees required: (126) trees	
Total trees provided: (157) trees, 3" cal. min.	
(147) evergreen trees, 3" cal.	

LANDSCAPE TABULATIONS: LOT 5

PERIMETER LANDSCAPE	
Requirements: Street Frontage shall contain a 15' landscape buffer with one (1) tree, 3" cal. 12" above ground, per 50 ft. and 30" ht. parking lot screen: hedge or berm. Perimeter landscape areas shall contain a 10' landscape buffer along property lines with one (1) tree, 3" cal. 12" above ground, per 50 ft.	
Northwest Property Line: (978.83 ft.)	Provided (20) trees, 3" cal. min.
Required (20) trees	
Southeast Property Line: (308.83 ft.)	Provided (6) trees, 3" cal. min.
Required (6) trees	
South Property Line: (1073 ft.)	Provided (22) trees, 3" cal. min.
Required (22) trees	
Freeport Parkway: (773.58 ft.)	Provided (16) trees, 3" cal. min.
Required (16) trees	
INTERIOR LANDSCAPE	
Requirements: 10% of gross parking area to be landscape. One (1) tree per 400 s.f. of required landscape area.	
Parking Lot: 57,917 s.f.	Provided (16) trees, 3" cal. min.
Parking Spaces: 169	
Required (5,791 s.f. (10%))	Provided (6,590 s.f. (11.3%))
(15) trees, 3" cal.	(16) trees, 3" cal. min.
OPEN SPACE	
Requirements: 15% of lot not covered by buildings to be landscape open space. One (1) tree per 2500 s.f. of open space.	
TOTAL LOT AREA: (Exclusive of building): 368,283 s.f.	
Required (55,239 s.f. (15%))	Provided (105,441 s.f. (55.6%))
(22) trees	(12) trees, 3" cal. min.
SUMMARY	
Total trees required: (101) trees	
Total trees provided: (101) trees, 3" cal. min.	
(-) trees, 7" ht.	



MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.

PROJECT NO. PROJECT_NO
SHEET TITLE: OVERALL LANDSCAPE_PLAN
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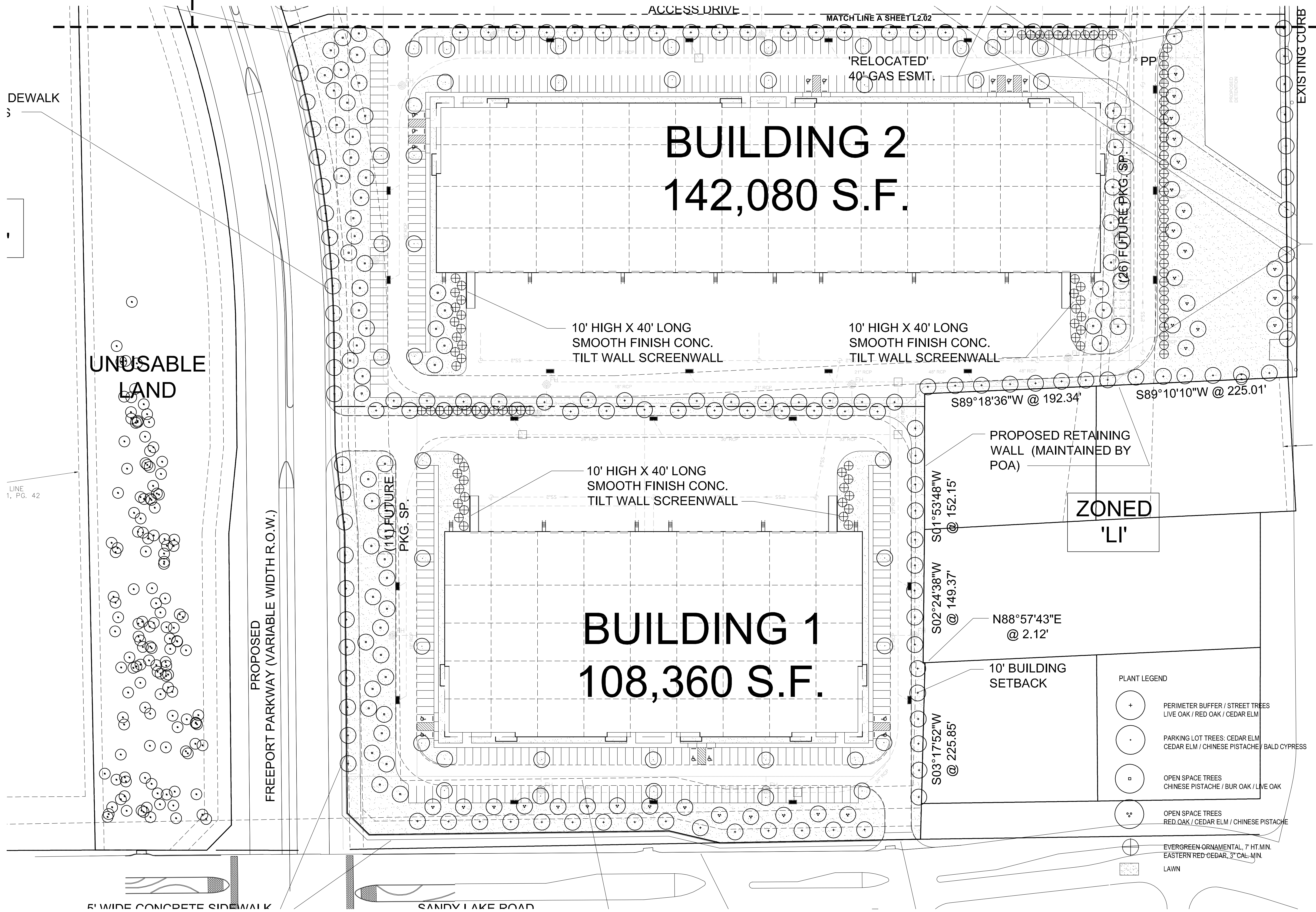


01 OVERALL LANDSCAPE PLAN
SCALE: 1" = 160'-0"

0 80 160 320

L1.00

DATE: 01-16-15 SHEET:



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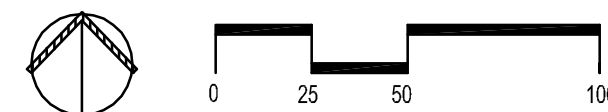


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01 LANDSCAPE PLAN
SCALE: 1" = 50'-0"



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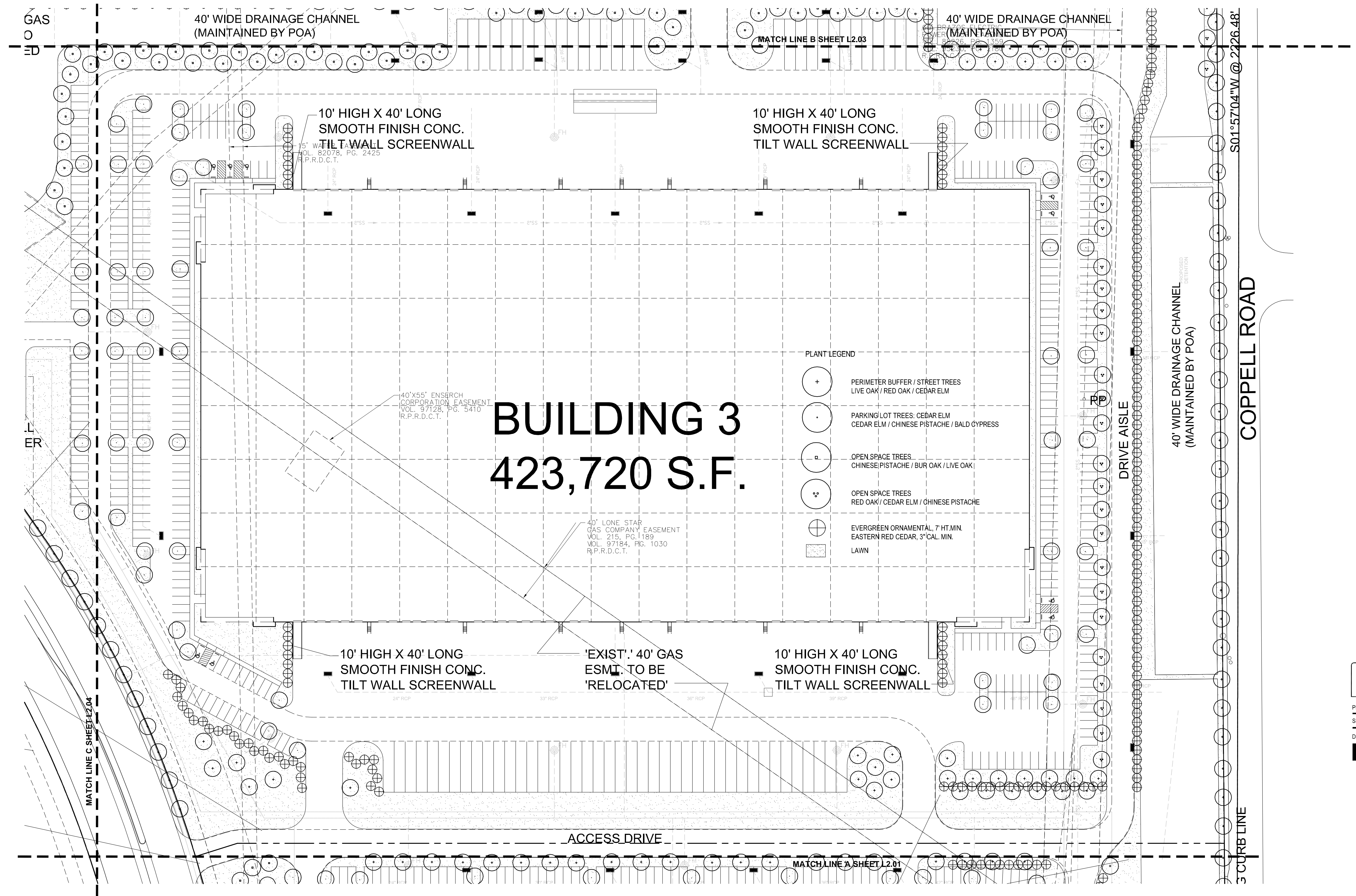
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L2.01

PROLOGIS PARK ONE TWENTY ONE

3200 AND 3202 STATE HIGHWAY 121, COPPELL

TEXAS



PROLOGIS PARK ONE TWENTY ONE

3200 AND 3202 STATE HIGHWAY 121, COPPELL

TEXAS



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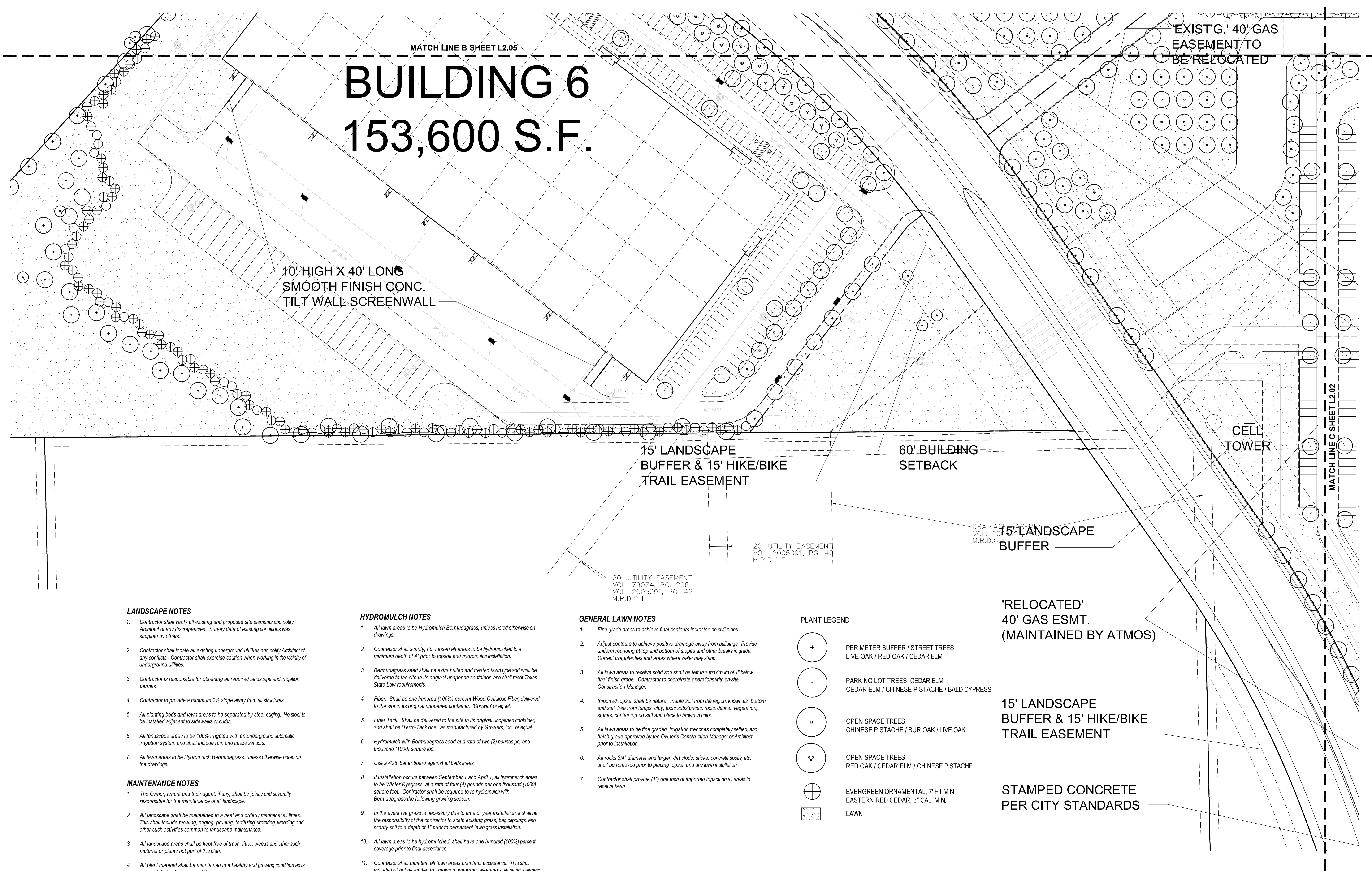
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01 LANDSCAPE PLAN
SCALE: 1" = 50'-0"
0 25 50 100

DATE: 01-16-15 SHEET:

L2.02



LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Hydromulch Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

HYDROMULCH NOTES

- All lawn areas to be Hydromulch Bermudagrass, unless noted otherwise on drawings.
- Contractor shall scarify, rip, loosen all areas to be hydromulched to a minimum depth of 4" prior to topsoil and hydromulch installation.
- Bermudagrass seed shall be extra hulled and treated lawn type and shall be delivered to the site in its original unopened container, and shall meet Texas State Law requirements.
- Fiber: Shall be one hundred (100%) percent Wood Cellulose Fiber, delivered to the site in its original unopened container. 'Conweb' or equal.
- Fiber Tack: Shall be delivered to the site in its original unopened container, and shall be 'Terra-Tack one', as manufactured by Growers, Inc., or equal.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1000) square foot.
- Use a 4"x8" batter board against all beds areas.
- If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass, at a rate of four (4) pounds per one thousand (1000) square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- In the event rye grass is necessary due to time of year installation, it shall be the responsibility of the contractor to scalp existing grass, bag clippings, and scarify soil to a depth of 1" prior to permanent lawn grass installation.
- All lawn areas to be hydromulched, shall have one hundred (100%) percent coverage prior to final acceptance.
- Contractor shall maintain all lawn areas until final acceptance. This shall include but not be limited to: mowing, watering, weeding, cultivating, cleaning, and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply as necessary.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as: bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

PLANT LEGEND

- PERIMETER BUFFER / STREET TREES
LIVE OAK / RED OAK / CEDAR ELM
- PARKING LOT TREES: CEDAR ELM
CEDAR ELM / CHINESE PISTACHE / BALD CYPRESS
- OPEN SPACE TREES
CHINESE PISTACHE / BUR OAK / LIVE OAK
- OPEN SPACE TREES
RED OAK / CEDAR ELM / CHINESE PISTACHE
- EVERGREEN ORNAMENTAL, 7' HT. MIN.
EASTERN RED CEDAR, 3" CAL. MIN.
- LAWN

'RELOCATED'
40' GAS ESMT.
(MAINTAINED BY ATMOS)

15' LANDSCAPE
BUFFER & 15' HIKE/BIKE
TRAIL EASEMENT

STAMPED CONCRETE
PER CITY STANDARDS



01 LANDSCAPE PLAN
SCALE: 1" = 50'-0"

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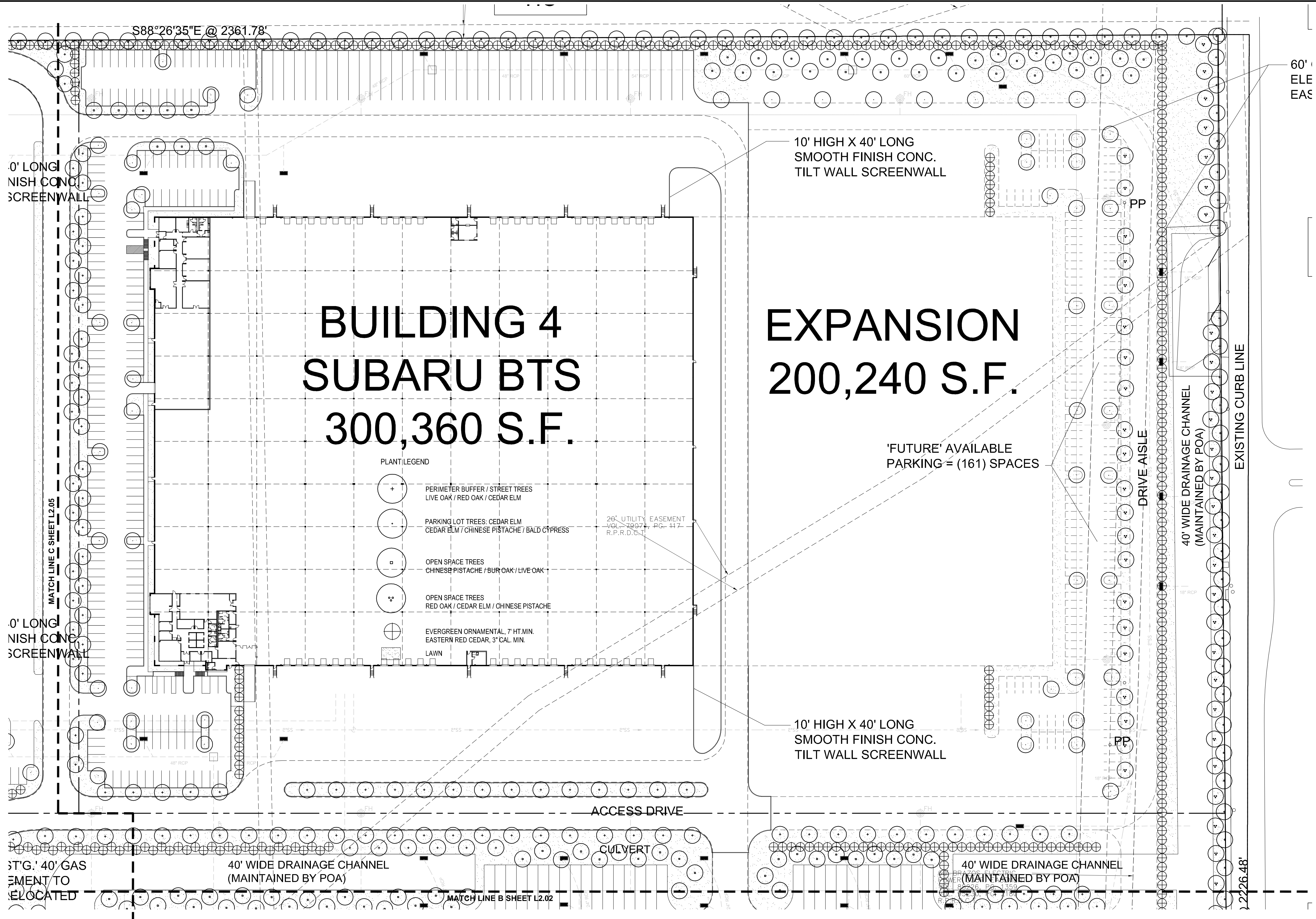


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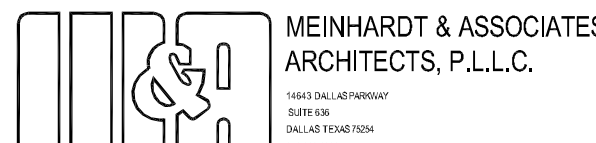
TEXAS



PROLOGIS PARK ONE TWENTY ONE

TEXAS

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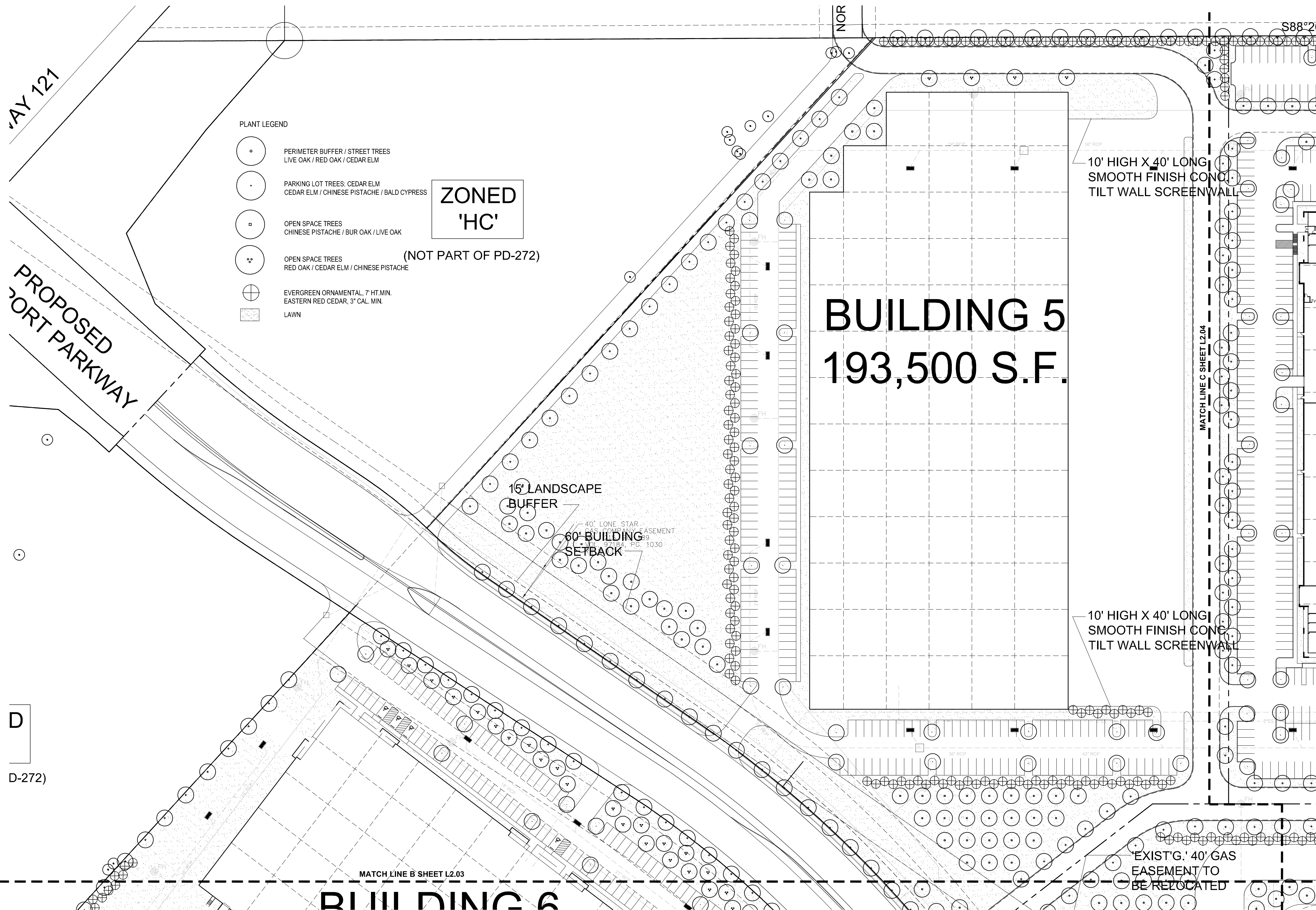
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01 LANDSCAPE PLAN
SCALE: 1" = 50'-0"



DATE: 01-16-15 SHEET:

L2.04



- PLANT LEGEND
- PERIMETER BUFFER / STREET TREES
LIVE OAK / RED OAK / CEDAR ELM
 - PARKING LOT TREES: CEDAR ELM
CEDAR ELM / CHINESE PISTACHE / BALD CYPRESS
 - OPEN SPACE TREES
CHINESE PISTACHE / BUR OAK / LIVE OAK
 - OPEN SPACE TREES
RED OAK / CEDAR ELM / CHINESE PISTACHE
 - EVERGREEN ORNAMENTAL, 7' HT. MIN.
EASTERN RED CEDAR, 3" CAL. MIN.
 - LAWN

ZONED
'HC'

(NOT PART OF PD-272)

BUILDING 5
193,500 S.F.

15' LANDSCAPE
BUFFER

60' BUILDING
SETBACK

10' HIGH X 40' LONG
SMOOTH FINISH CONC.
TILT WALL SCREENWALL

10' HIGH X 40' LONG
SMOOTH FINISH CONC.
TILT WALL SCREENWALL

EXIST'G. 40' GAS
EASEMENT TO
BE RELOCATED

MATCH LINE B SHEET L2.03

MATCH LINE C SHEET L2.04

PROPOSED
PORT PARKWAY

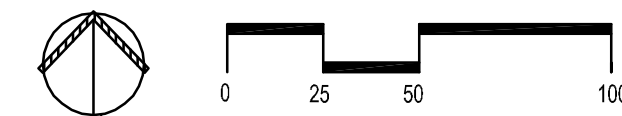
D

D-272)

BUILDING 6



01 LANDSCAPE PLAN
SCALE: 1" = 50'-0"



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PROJECT NO.	PROJECT_NO
SHEET TITLE:	LANDSCAPE_PLAN
DRAWN BY:	BDA
CHECKED BY:	BDA


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