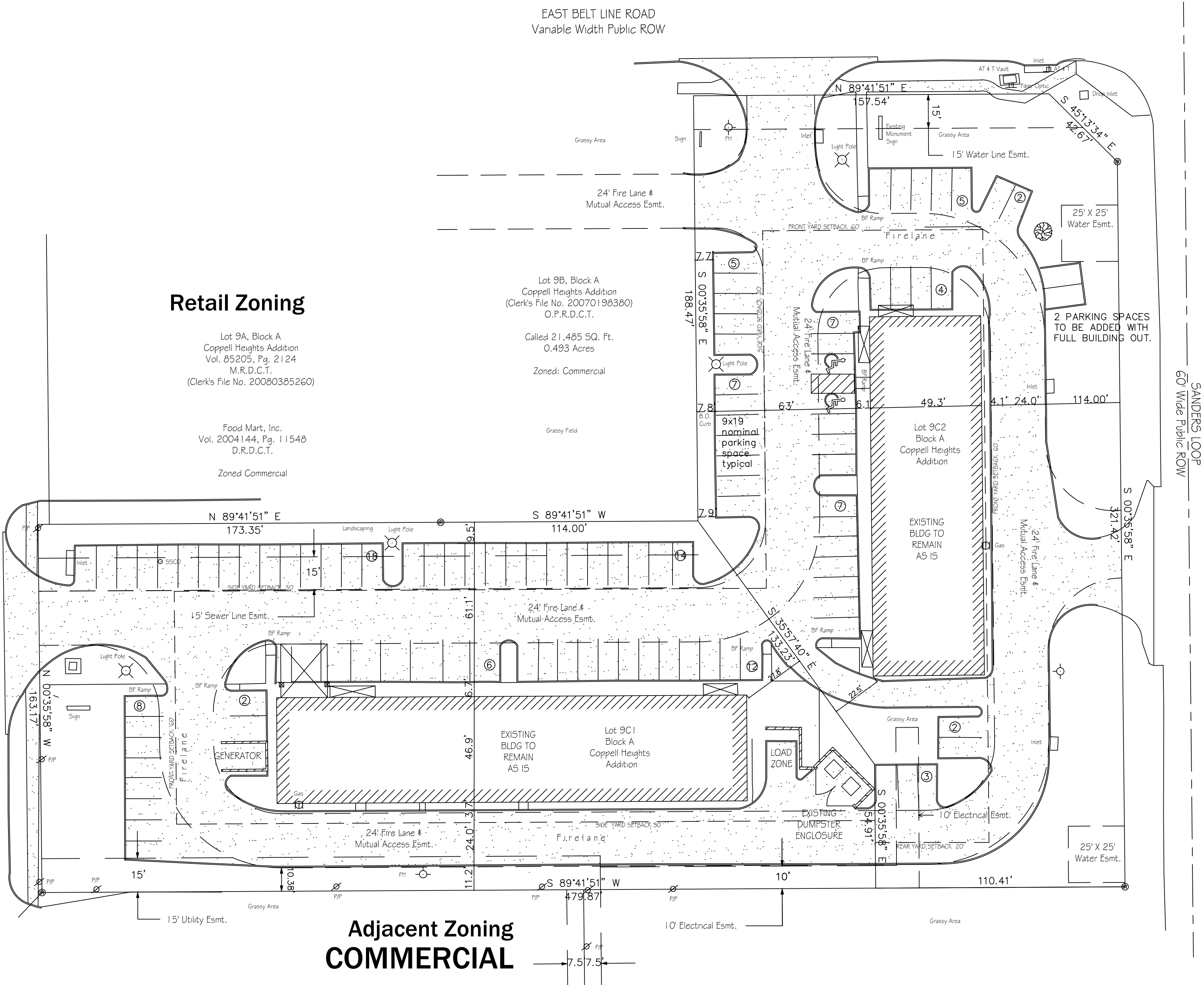
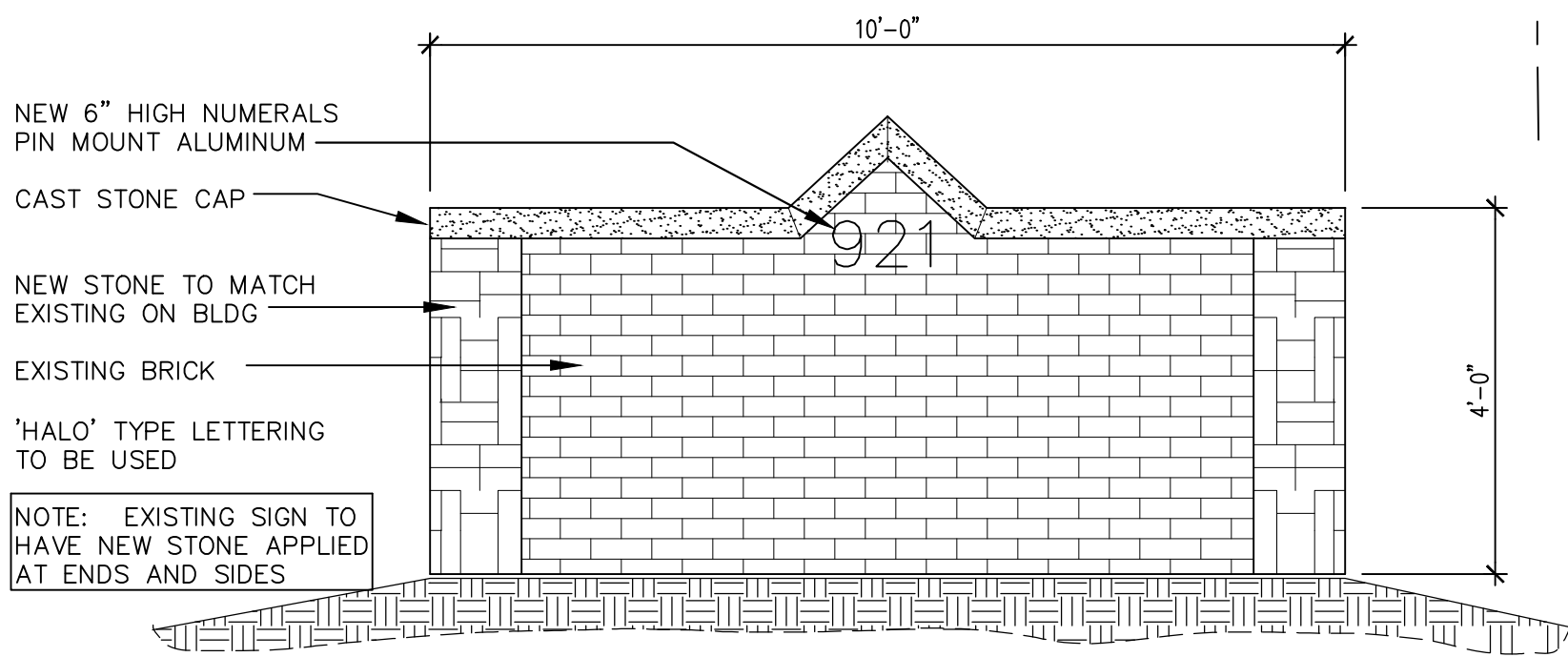


Adjacent Zoning
PD-232-C



Adjacent Zoning
LI

Adjacent Zoning
CITY OF
DALLAS



Existing Monument Sign

Scale: 1/2" = 1'-0"

Adjacent Zoning
COMMERCIAL

Architectural Site Plan
Scale: 1" = 30'

PD Conditions

- 10' PERIMETER BUFFER REQUIREMENT IS NOT MET ON THE MUTUAL PROPERTY LINE OF BOTH LOTS.
- LOT 9C2 BUILDING SETBACK FROM THE NEW MUTUAL PROPERTY LINE IS AN EXISTING CONDITION TO REMAIN AS IS.
- ACTUAL PAVING SETBACK AT WEST SIDE LOT 9C2 VARIES FROM 7.7' TO 7.9' TO BACK OF CURB. EXISTING TO REMAIN AS IS.
- SIZE OF EXISTING MONUMENT SIGNS SHALL REMAIN AS ARE.
- LOT 9C1 EXISTING LANDSCAPE AREA IS 21% LOT 9C2 EXISTING LANDSCAPE AREA IS 34%.

Site Data

EXISTING ZONING: R RETAIL
PROPOSED USE: MEDICAL OFFICE, OFFICE, RETAIL
SQUARE FOOTAGE OF BLDG: 7849 SQUARE FEET
BUILDING HEIGHT: 22'-6" AT PARAPET, 32'-0" AT CORNER FEATURES

LOT 9C2 (EAST)
REQUIRED PARKING: 7592 SF / 175 SF = 43 PARKING SPACES
PARKING CURRENTLY PROVIDED: 42 PARKING SPACES
PARKING TO BE ADDED WITH BUILD OUT 2 PARKING SPACES

LOT 9C1 (SOUTH):
REQUIRED PARKING: 9771 SF / 175 SF = 56 PARKING SPACES
PARKING PROVIDED: 57 SPACES

EXISTING LOT COVERAGE: BLDG 'A'=14%, BLDB B = 17%
FLOOR AREA RATIO: BLDG 'A'=14%, BLDG B = 17%

Contact Information

PROSPECTIVE PURCHASER / APPLICANT:
COPPELL HEIGHTS MANAGEMENT
2560 KING ARTHUR BLVD
SUITE 124-38
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TEL: 214-728-6265
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ARCHITECT:
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COPPELL, TX 75019
TEL: 972-824-7966
FAX: 972-462-1368

Coppell Heights
BeltLine@BeltLine@Denton Tap
Coppell, Texas 75019

REVISIONS	BY
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DATE CITY COUNCIL MARCH 24, 2015
DRAWN CN
CHECKED GF
SCALE AS SHOWN
JOB NO. 105
SHEET

A1.0