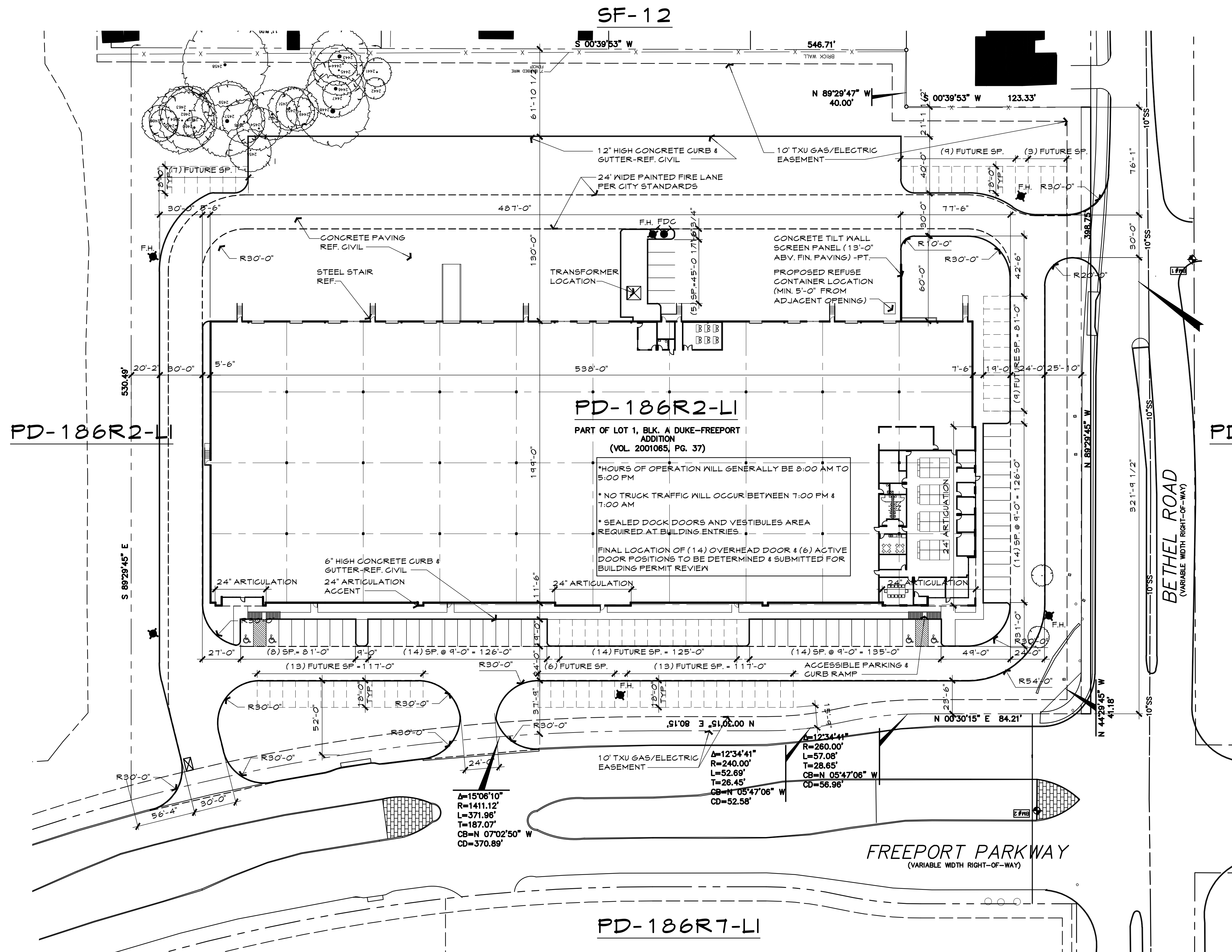
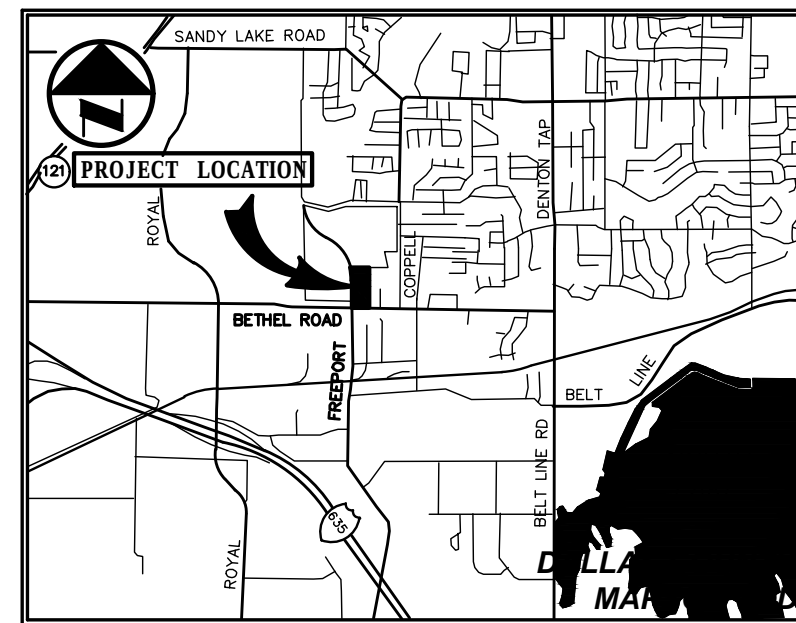




SITE PLAN

SCALE: 1" = 40'-0"



LOCATION MAP

NO SCALE

SITE DATA

SITE AREA	320,713 SF./7.13 AC.
BUILDING AREA	7,212 S.F.
MAIN OFFICE	650 S.F.
PACKAGING	1,126 S.F.
TRAINING/SUPPORT	48,653 S.F.
WAREHOUSE	107,641 S.F.
TOTAL BUILDING AREA	157,529 S.F.
COVERAGE	1.3:1
FLOOR AREA RATIO	1.3:1
EXISTING ZONING	OFFICE COMMERCIAL
BUILDING HEIGHT	1 STORY +/- 41'-0" A.F.F.
BUILDING CODE	2012 IBC
CONSTRUCTION TYPE	TYPE II-B
OCCUPANCY CLASSIFICATION	STORAGE GROUP S-1
PROPOSED USE	OFFICE WAREHOUSE
OCCUPANT LOAD	
PROPOSED OFFICE (8,988 SF/100)	89.88
PROPOSED WHSE (48,653 SF/500)	141.90
TOTAL OCCUPANT LOAD	231.78
EXITING REQUIREMENTS = 231.78 X 1.15	430.7
PARKING	REQUIRED
41/300 SF OFFICE	30 SPACES
1/1,000 SF WHSE.	49 SPACES
TOTAL	129 (55 PROPOSED) (74 FUTURE)
ACCESSIBLE PARKING	3 SPACES
	4 SPACES

GENERAL DATA

- ALL DRIVE & APPROACHES SHALL MEET CITY OF COPPELL STANDARDS.
- REFER TO PROJECT MANUAL FOR CONCRETE PAVING AND SIDEWALK SPECIFICATIONS.
- PARKING LOT STRIPING SHALL BE 4" WIDE SPRAY APPLIED WHITE VINYL ACRYLIC PAINT. (ALL SPACES @ 9'-0" WIDE X 17'-6" TYP.)
- ALL CURB RADII SHALL BE 3'-0" UNLESS NOTED OTHERWISE.
- REFER TO CIVIL FOR SITE GRADING INFORMATION.
- ALL CONCRETE STOOPS & ENTRANCES TO REF. 04/A8.02 FOR THE SILL DETAIL.
- DOMEL STOOPS AND WALKS INTO GRADE BEAMS AT ENTRANCES W/ #4'S AT 12" O.C.
- DIMENSIONS ARE TO GRID LINES, FACE OF CONCRETE PANELS AND FACE OF ROUGH OPENINGS.
- PROVIDE (1) ACCESSIBLE PARKING STALL SIGN PER STALL & (1) VAN ACCESSIBLE SIGN PER SECTION 502 PARKING SPACES ON SHEET A.1.07.
- REFER TO CIVIL FOR PAVING DETAILS.
- 24" FIRE LANE W/ 6" WIDE RED STRIPE SHALL BE INSTALLED W/ 4" HIGH WHITE LETTERING PER CITY OF COPPELL STANDARDS.
- FIRE HYDRANTS SHALL BE INSTALLED EVERY 600' AS PER IFC 2006, 508.5.1, EXCEPTION 2.

BUILDING INSPECTION:

- TYPICAL CONSTRUCTION TYPE: TYPE II-B
- FIRE PROTECTION TYPE: ESFR
- OCCUPANCY TYPE: GROUP S1
- OCCUPANCY LOAD: OFFICE-100 SF/PERSON
WAREHOUSE-500 SF/PERSON
- EXIT WIDTH: TOTAL OCCUPANTS X 0.15"= MINIMUM EXIT WIDTH REQUIRED

FIRE DEPARTMENT

- FIRE HYDRANTS SHALL BE SPACED AT 300' (MAX.) ALONG FIRE LANE EASEMENTS.
- FIRE HYDRANTS SHALL BE LOCATED BETWEEN 3' AND 6' FROM FIRE LANE EASEMENT.
- FIRE DEPARTMENT CONNECTION (FDC) SHALL BE LOCATED ADJACENT (3') FROM FIRE HYDRANT.
- BUILDING SHALL BE EQUIPPED WITH A FIRE PUMP (BASED ON HYDRAULIC CALCULATIONS)
- ANY FUTURE GATES CROSSING FIRE LANE EASEMENTS SHALL BE EQUIPPED WITH BI-DIRECTIONAL GTT OPTICOM RECEIVERS AND KNOX PADLOCK OVERRIDES FOR EMERGENCY ACCESS.
- USE OF ANY TRAFFIC CALMING DEVICES MUST BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.

- DUKE REALTY BUILD TO SUIT FOR TOHATSU OUTBOARDS
- PART OF LOT 1, BLOCK A, DUKE FREEPORT ADDITION
- VOLUME 2001065, PAGE 37, TEXAS DUGAN LIMITED PARTNERSHIP
- CITY OF COPPELL, DALLAS COUNTY
- 7.362 ACRE TRACT, 320,714 S.F.
- PREPARED APRIL 03, 2001



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Client / Consultant 1

Client / Consultant 2

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14643 DALLAS PARKWAY, SUITE 636
DALLAS, TEXAS 75254
972-980-8980

Professional Seal

EXHIBIT "B"

FREEPORT PARKWAY

P&Z Submittal

TOHATSU BUILD TO SUIT

ISSUANCES

City Council Submittal	12-30-15
P&Z Submittal	12-08-15
DRC Submittal	12-03-15
Planning Submittal	11-18-15
Pre Submittal	11-16-15
# Description	Date

DRAWING INFORMATION

Scale: 1" = 40'-0"
Date: 11-16-15
Checked By: DM
Drawn By:
Duke Realty Job #:
A/E Job #: 15-951

DRAWING / SHEET TITLE

SITE PLAN

SHEET NUMBER

A1.00