

NOTE: IMPROVEMENTS TO TOWN CENTER DRIVE ARE NOT PART OF THIS SET OF PLANS

SITE DATA

LOT INFORMATION:
ZONING - PD-282-C
EXISTING USE: SONIC DRIVE IN
PROPOSED USE: SONIC DRIVE IN
LOT SIZE: 0.81 ACRES (35,458.04 SF)
BUILDING SIZE: 1,608 SF
BUILDING LAND COVERAGE: 4.34%

PARKING REQUIREMENTS:
CRITERIA
*REQUIRED PARKING CALCULATION
TOTAL REQUIRED=24 P.S.
TOTAL PROVIDED=26 P.S.

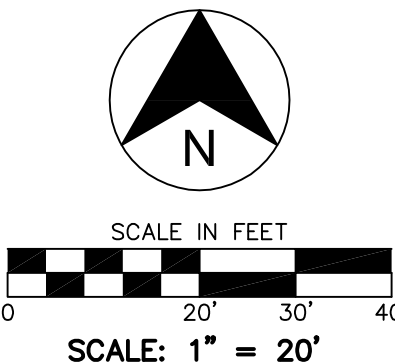
IMPERVIOUS SURFACE AREA:
TOTAL OVERALL AREA: 35,458.04 SF
EXISTING IMPERVIOUS AREA: 27,771.35 SF (74.91%)
PROPOSED IMPERVIOUS AREA: 24,893.09 SF (70.20%)
IMPERVIOUS AREA REDUCTION: 2,878.26 SF (4.71%)

LANDSCAPED AREA:
TOTAL OVERALL AREA: 35,458.04 SF
OVERALL PROP LANDSCAPE AREA: 10,564.95 SF (29.80%)

INTERIOR LANDSCAPE AREA:
PAVED AREA = 23,285.09 SF x (10%)
TOTAL REQUIRED INT. LS = 2,328.51 SF
TOTAL PROVIDED INT. LS = 2,328.51 SF

PERIMETER LANDSCAPE AREA:
317.15 LF STREET FRONTAGE x 15' = 4,757.25 SF
(NOTE THIS IS MINUS STREET DRIVES)
327.89 LF OF NOT STREET PERIMETER x 10' = 3,278.90 SF
TOTAL REQUIRED PERIMETER LS = 8,036.15
TOTAL PROVIDED PERIMETER LS = 8,036.15

NON-VEHICULAR LANDSCAPE:
35,458.04 SF - 1,608 SF = 33,850.04 x (15%) = 5,077.51
TOTAL REQUIRED NON-VEH. LS = 5,077.51 SF
TOTAL PROVIDED NON-VEH. LS = 200.29 SF



NOTE:
ON-SITE AREA DISTURBED APPROXIMATELY
0.66 ACRES (29,030.56 S.F.)

NOTE:
REFER TO ARCHITECTURAL PLANS FOR
COORDINATION OF BUILDING, APPURTENANCES,
DIMENSIONS, AND UTILITY ENTRANCE LOCATIONS.

NOTE:
HANDICAP PARKING IS PROVIDED IN
ACCORDANCE WITH ADA STANDARDS

GENERAL NOTES:

1. ALL DIMENSIONS AT CURBS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
3. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES AND CIRCUITING.
4. LOCATIONS OF PYLON / MONUMENT SIGNS AND ENTER / EXIT SIGNS ARE NOT EXACT. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH OWNER / CONSTRUCTION MANAGER.
5. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS.
6. THE CONTRACTOR SHALL NOT DISTURB ANY ADJACENT PROPERTIES.

SITE PLAN KEYNOTES

ITEM	NOTE
①	TRAFFIC FLOW ARROW (TYPICAL), REF: CIVIL DETAILS
②	4" PAINTED STRIPES (TYPICAL), REF: SPECIFICATIONS, SECTION 02500, SHEET SP1
③	CURB RAMP (TYPICAL), REF: CIVIL DETAILS
④	TRASH ENCLOSURE, REF: ARCHITECTURAL DETAILS
⑤	RAILING, REF: CIVIL DETAILS
⑥	BOLLARD, REF: CIVIL DETAILS
⑦	GREASE TRAP, REF: PLUMBING PLANS
⑧	4" SANITARY SEWER LINE
⑨	2" UNDERGROUND GAS LINE
⑩	1" UNDERGROUND WATER LINE UTILIZING EXISTING METER
⑪	UNDERGROUND ELECTRIC LINE
⑫	2" UNDERGROUND TELEPHONE LINE
⑬	4" PVC PIPE SLEEVE UNDER DRIVE FOR IRRIGATION SYSTEM
⑭	ORDER BOARD AND DETECTOR LOOP, REF: CIVIL DETAILS
⑮	MENU / CANOPY POST (TYPICAL), REF: ARCH PLANS
⑯	GAS METER
⑰	CONCRETE PAVING
⑱	8" THICK, CONCRETE PAVING IN THIS AREA
⑲	"CARHOP CROSSING" SIGNAGE, REF: CIVIL DETAILS
⑳	"PICK UP ORDER HERE" SIGNAGE, REF: CIVIL DETAILS
㉑	- NOT USED -
㉒	POLE MOUNTED FLOOD LIGHTS, REF: CIVIL DETAILS AND FIXTURE SCHED. ON ELECTRICAL AND LIGHTING PLANS
㉓	NOT USED
㉔	CONC. CURB & GUTTER, REF: DETAILS ON CIVIL SHEETS
㉕	CONC. WALKS AND PATIO REF: CIVIL DETAILS
㉖	LOOSE TABLES & CHAIRS. REF: CIVIL DETAILS
㉗	3/4" YARD HYDRANT OFF IRRIGATION LINE, SUPPLIED AND INSTALLED BY PLUMBING CONTRACTOR.
㉘	- NOT USED -
㉙	- NOT USED -
㉚	TRASH CANS ON 1'-6"x1'-6" CONCRETE PAD

SIGN SCHEDULE

ITEM	QTY.	REFERENCE	SIGN TYPE
①	0	SIGN PLAN	MONUMENT SIGN (SEE SIGN PLAN)
②	3	SIGN PLAN	ENTER SIGN (SEE SIGN PLAN)
③	1	SIGN PLAN	EXIT SIGN (SEE SIGN PLAN)
④	1	SIGN PLAN	SIGN ON BLDG. (SEE SIGN PLAN)
⑤	1	SIGN PLAN	HANDICAPPED PARKING SIGN
⑥	0	SIGN PLAN	VAN ACCESSIBLE HANDICAPPED SIGN

LEGEND

⊙ FIRE HYDRANT	⊙ EX. POWER POLE
⊙ WATER VALVE	⊙ PROP. POWER POLE
⊙ EX. WATER METER PIT	⊙ EX. TELEPHONE PED.
⊙ EX. WATER METER	⊙ EX. SS MANHOLE
⊙ PROP. WATER METER	⊙ PROP. SS MANHOLE
⊙ EX. ELECTRICAL PED.	⊙ EX. GAS METER
⊙ EX. ELECT. TRANSFORMER	⊙ PROP. GAS METER
⊙ EX. ELECT. METER	⊙ EX. ELECT. MANHOLE
⊙ PROP. TRANSFORMER	⊙ EX. STORM MANHOLE
⊙ EX. SIGNAGE	⊙ VERTICAL SEPARATION REQUIREMENT
⊙ EX. LIGHT POLE	
⊙ PROP. LIGHT POLE	

LEGAL DESCRIPTION
BEING ALL OF LOT 1R, BLOCK A OF THE SONIC ADDITION, AN ADDITION IN THE CITY OF COPPELL, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2000156, PAGE 1823 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS

BENCHMARK: TBM MNS
NORTHING = 7040267.77
EASTING = 2430107.13
ELEVATION = 476.19

REVISIONS

NO

DATE

NO

DATE

SONIC CORPORATION
300 JOHNNY BENCH DRIVE
OKLAHOMA CITY, OK 73104
OFFICES: 405-225-5000
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SONIC DRIVE-IN
SONIC TYPE: 12X
COPPELL, TX

PERMIT SET
SITE PLAN
SHEET
C2.0
DWG: 16009
DATE: 04.28.16