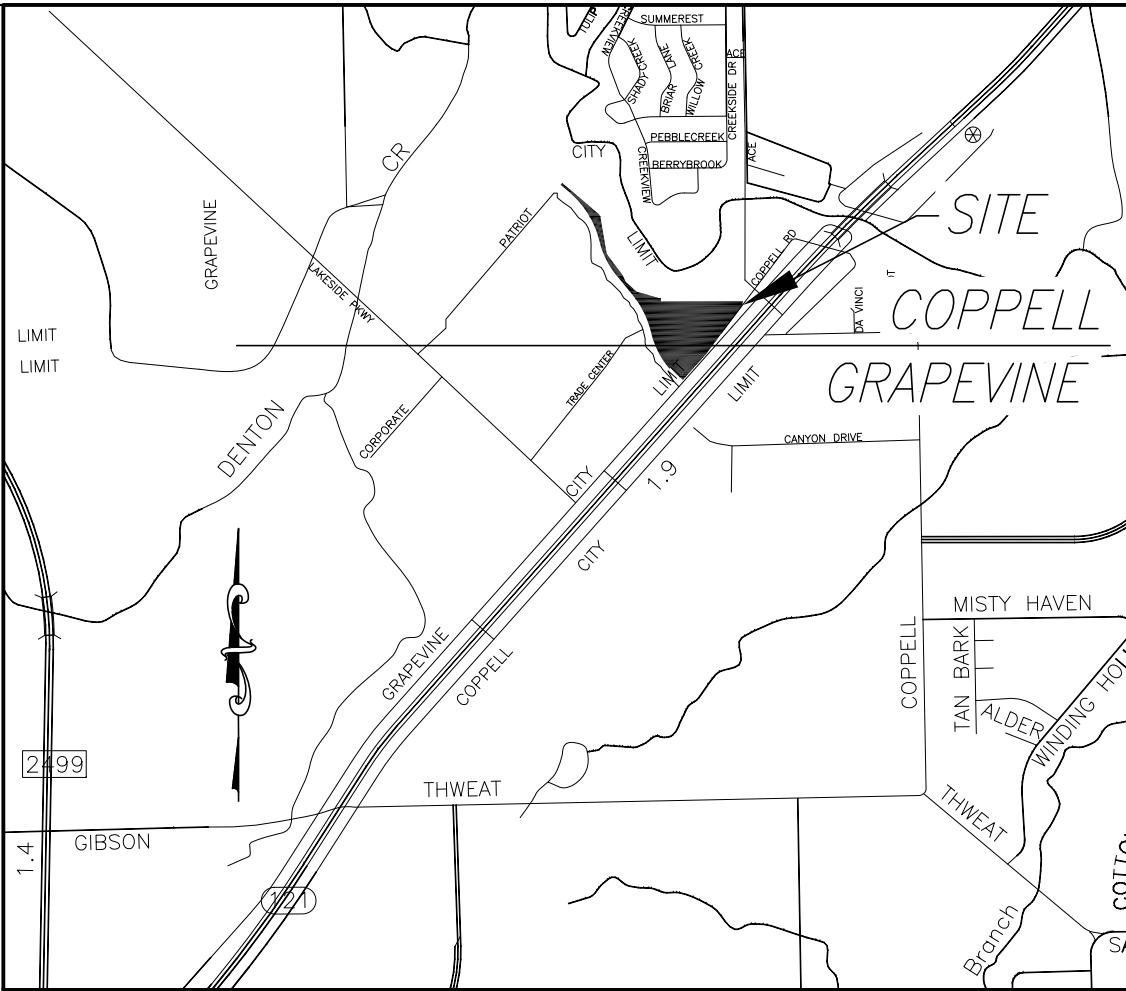


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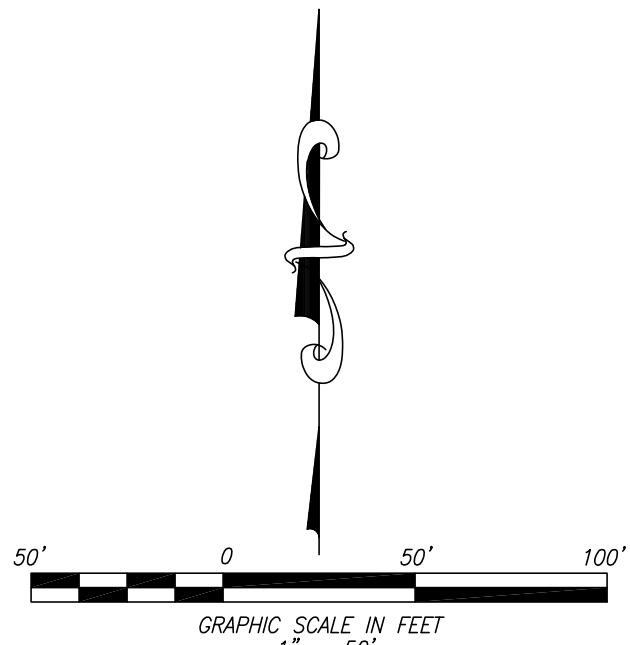
- NOTES:
1. A TREE REMOVAL PERMIT WILL BE REQUIRED PRIOR TO THE REMOVAL OF ANY TREES.
 2. LOADING DOCK TO BE SCREENED FROM STREET WITH WINGWALLS & LANDSCAPING
 3. TRUCK STORAGE AREA TO BE SCREENED WITH EVERGREEN TREES (TYP.)
 4. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION
 5. ALL ON SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND

EXISTING ZONING	PD-136R2-LI
PROPOSED USES	WAREHOUSE
EACH PROPOSED USED	111,260 SQ FT
BUILDING AREA	111,260 SQ FT
BUILDING HEIGHT	1 STORY AT 42 FT
REQUIRED AND PROVIDED PARKING SPACE PER EACH USE	REQUIRED PARKING SPACES: 112 (1 SPACE/1000 SQ FT BLDG) PROVIDED PARKING SPACES: 156
PROPOSED LOT COVERAGE	(111,260/432,975) X 100% = 25.7%
FLOOR AREA RATIO	25.7%
TOTAL LOT AREA:	432,975 SQ FT (9.935 ACRES)
TOTAL IMPERVIOUS AREA:	258,302 SQ FT
TOTAL OPEN SPACE: (LANDSCAPED AREA)	176,893 SQ FT
TOTAL PROPOSED PAVING AREA:	138,272 SQ FT

OWNER
DCT DFW Trade Center, LLC
5430 LBJ Freeway, Suite 1030
Dallas, TX 75240
Ph: 972-982-8550
ENGINEER & SURVEYOR
James DeOtte Engineering, Inc.
2201 Dottie Lynn Parkway, Suite 119
Fort Worth, Texas 76120
Ph: 817-446-6877
Fax: 817-930-0445



VICINITY MAP
N.T.S.



DRAFT

LEGEND

EASEMENT
PROPERTY BOUNDARY
INTERIOR LOT LINE
ACCESS DENIAL LINE
EX. MAJOR CONTOUR
EX. MINOR CONTOUR
EX. FIRE HYDRANT
PROPERTY MONUMENT
PROP. FIRE HYDRANT
PROP. MAJOR CONTOUR
PROP. MINOR CONTOUR
PROP. LANDSCAPED AREA
D.R.D.C.T.
INST#
VOL.
PG.
NO.
R.O.W.
ESMT.
POB
NTS

DEED RECORDS, DALLAS COUNTY, TEXAS
INSTRUMENT NUMBER
VOLUME
PAGE
NUMBER
RIGHT-OF-WAY
EASEMENT
POINT OF BEGINNING
NOT TO SCALE

THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION
OR BIDDING PURPOSES.
JAMES DEOTTE ENGINEERING, INC.
REGISTRATION #8917
By: James E. DeOtte
Reg. No.: 65840
Date: 08/24/2016

LOT 3, BLOCK 4
DFW TRADE CENTER ADDITION
9.935 ACRES IN THE PETER HARMONSON
SURVEY, ABSTRACT NO. 1795, THE BBB & CRR
CO. SURVEY, ABSTRACT NO. 1772, AND THE
T.W. COUSY SURVEY, ABSTRACT NO. 317,
CITIES OF GRAPEVINE & COPPELL, DALLAS
COUNTY, TEXAS

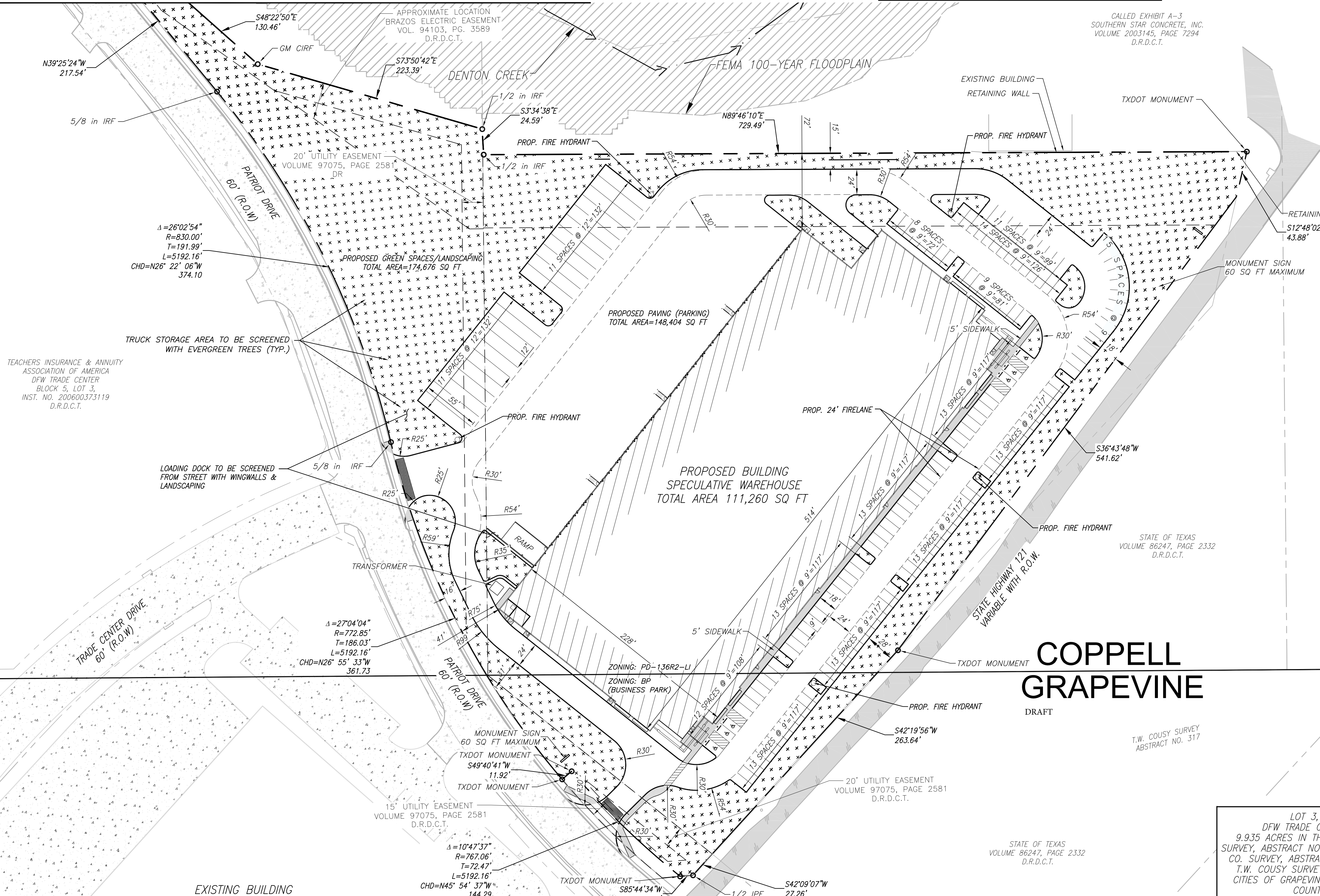
STATE OF TEXAS
VOLUME 86247, PAGE 2332
D.R.D.C.T.

T.W. COUSY SURVEY
ABSTRACT NO. 317

COPPELL
GRAPEVINE

DRAFT

MATCHLINE SHEET 5



EXISTING BUILDING

drawn: CBC
checked: KMM
date: 08/24/2016

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Fax: 817-930-0445
email: jdo@jdoe-eng.com

James DeOtte Engineering, Inc.
JDE ENGINEERING

pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75250, 972/759-1400

DFW TRADE CENTER
4301 PATRIOT DR.

SITE PLAN 1 OF 2

job no
2015069
sheet

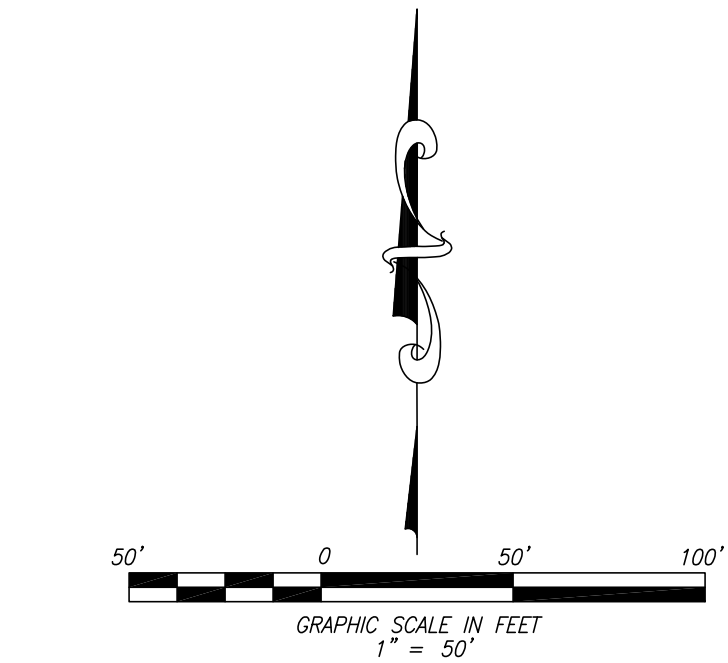
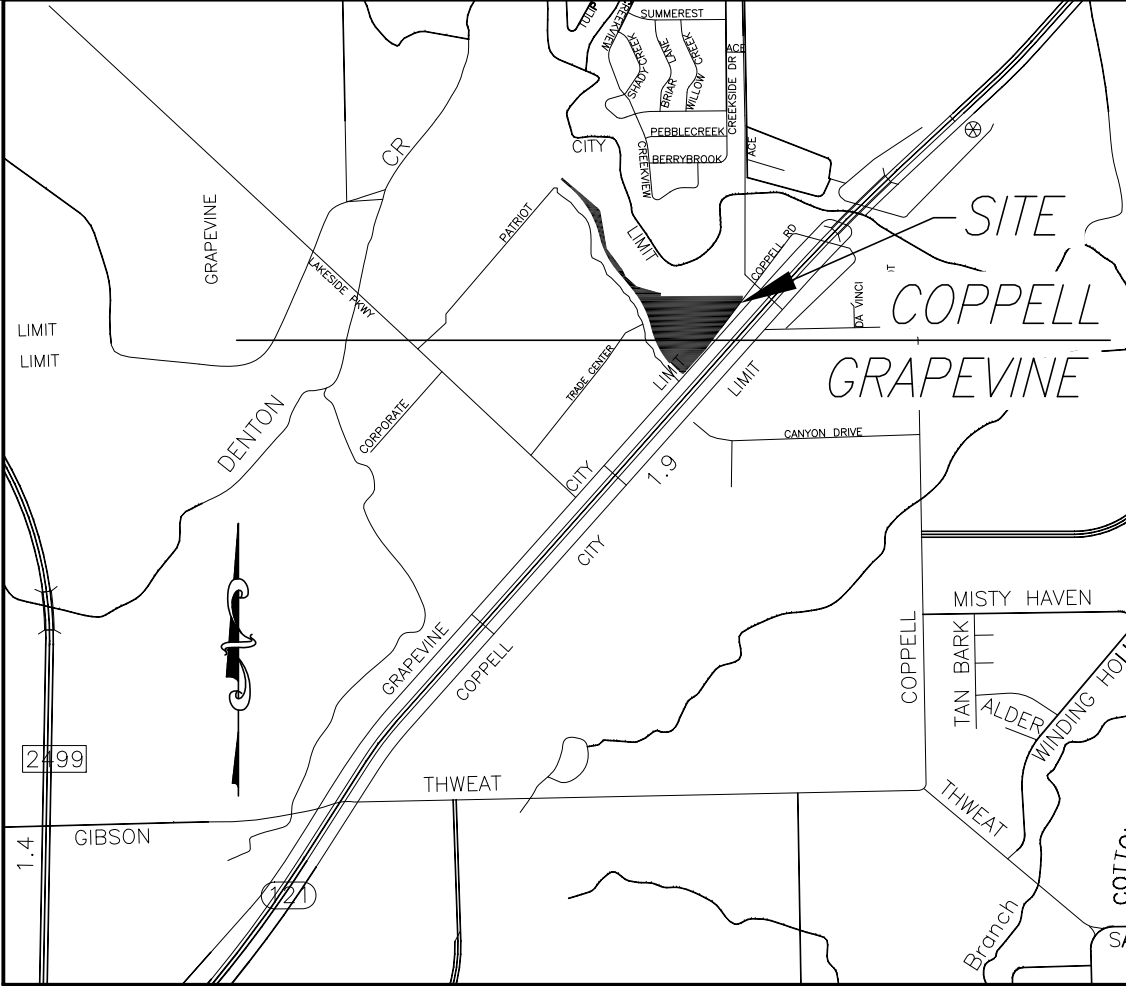
P:\201506900 - Pross 9 Acre Grapevine\dwg\plot Sheets\2015069-Site Plan (Coppell).dwg by Corey Chenoweth, 9/2/16

DRAFT

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LEGEND	
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PROPERTY BOUNDARY	---
INTERIOR LOT LINE	---
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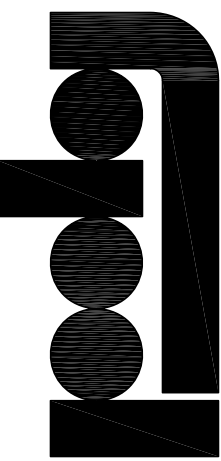
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DFW TRADE CENTER
4301 PATRIOT DR.

SITE PLAN 2 OF 2

job no
2015069
sheet

5

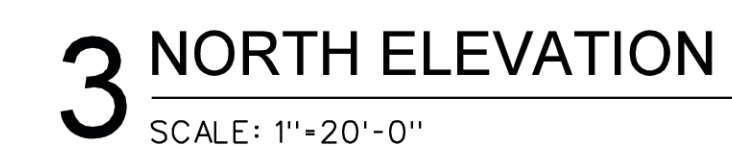


pross design group, incorporated
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drawn:
CBC
checked:
KMM
date:
08/24/2016

Civil Engineering
Land Surveying
Construction Management
Hydrologic and Hydraulic Modeling
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2 EAST ELEVATION

SCALE: 1"=20'-0"

