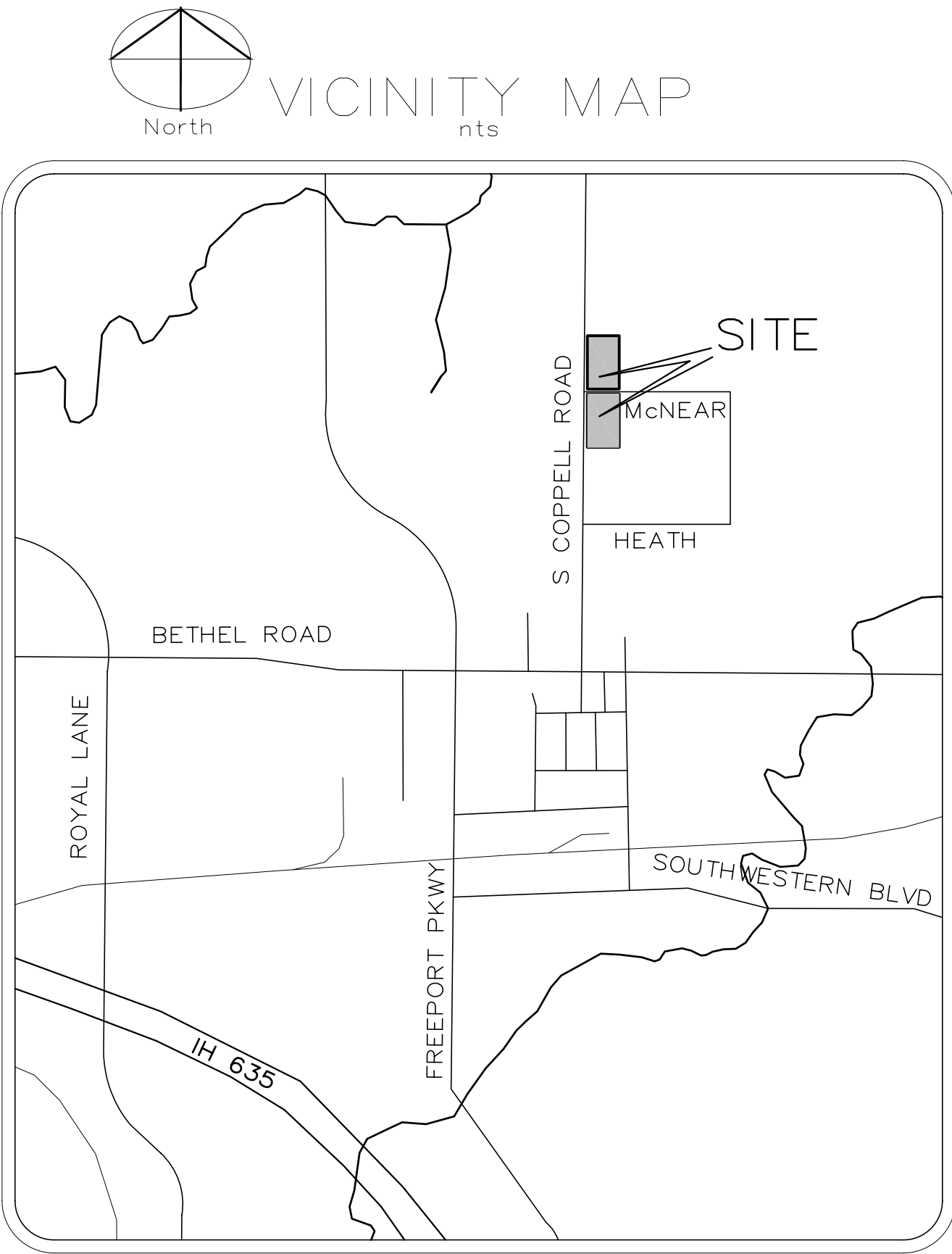
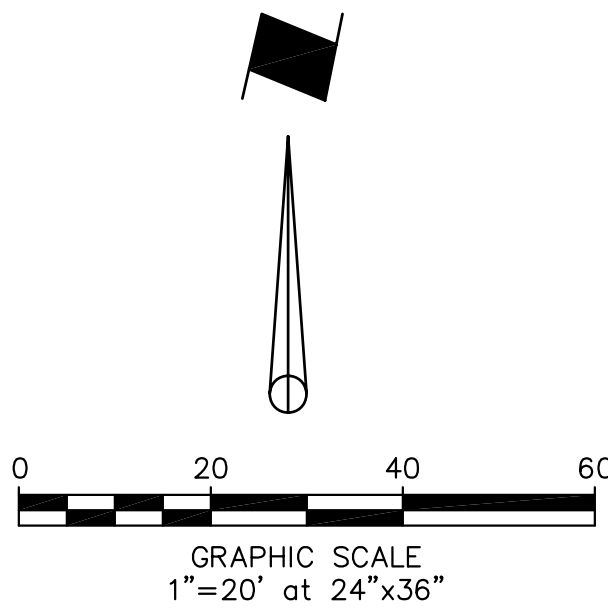
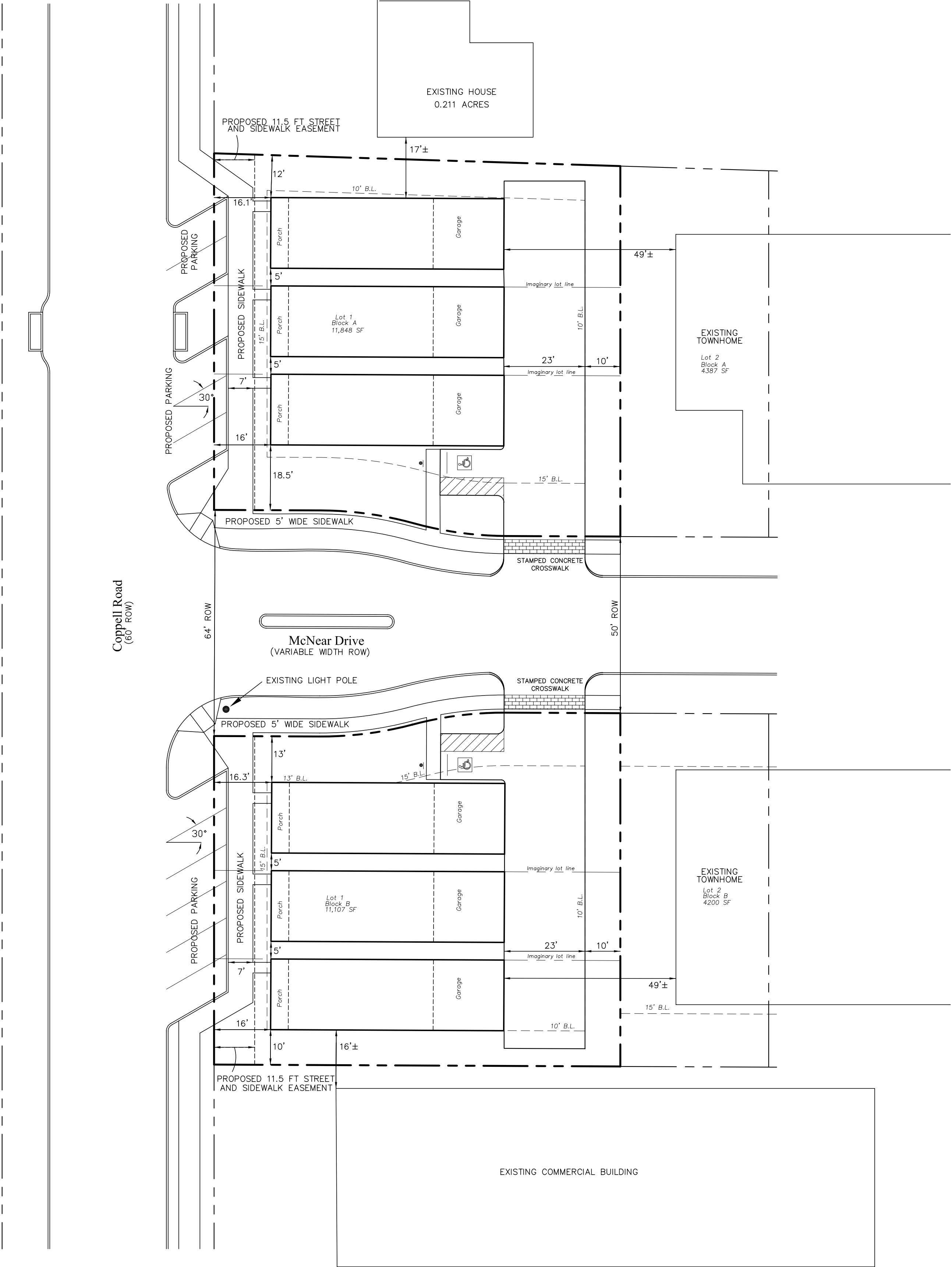
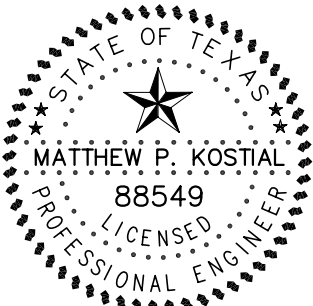


ALL BUILDING WILL BE SPRINKLERED



SITE DATA TABLE	
EXISTING ZONING	HISTORIC (H)
PROPOSED USES	LIVE WORK LOFTS OFFICE RESIDENTIAL
SQUARE FOOTAGE OF EACH PROPOSED USE	REFER TO SHEET A2
BUILDING AREA GROSS	1890 SF
BUILDING HEIGHT	35 FT MAX
REQUIRED PARKING	2 SP PER UNIT=12 SPACES 2 SP PER UNIT=12 SPACES
RESIDENTIAL OFFICE	2 SP PER UNIT=12 SPACES 2.16 SP PER UNIT=13 SPACES
PROVIDED PARKING	
RESIDENTIAL OFFICE	
PROPOSED LOT COVERAGE	6680 SF/22956 SF=29%
FLOOR AREA RATIO	11340 SF/22956 SF=49%



Matthew P. Kostal

10-07-16

revisions

NOTE: Due to the wide variety of approved construction methods, techniques, and changing site conditions, these plans must be thoroughly checked and field verified completely by the builder and/or person in authority of the supervision of construction, all contractors, and sub-contractors. Any discrepancy, errors, and/or omissions, if found by the person in authority, contractor, or sub-contractor, is to be brought to the immediate attention of Design Services - BEFORE - any construction work is performed or materials purchased.

DESIGN SERVICES
by WILLIAM C. BROWN
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SITE PLAN

ISSUE DATE