

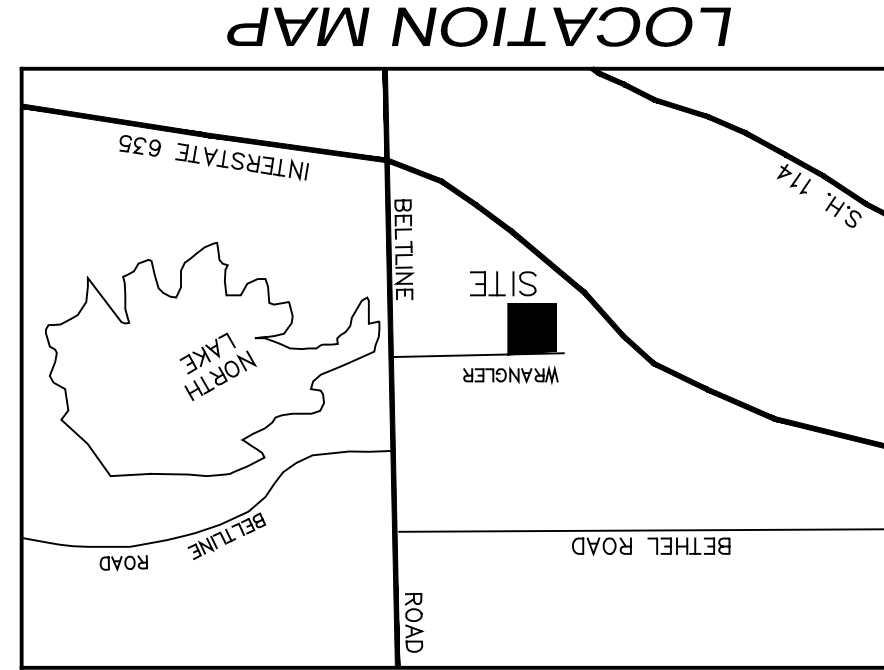
HATTIE MAE LESLEY
JAN. 24, 1958
ZONED "LIGHT INDUSTRIAL"

Exhibit "C"

ZONED "LIGHT INDUSTRIAL"

ZONED "COMMERCIAL"

M. 1197.12' S. 403.22'-69.58' S

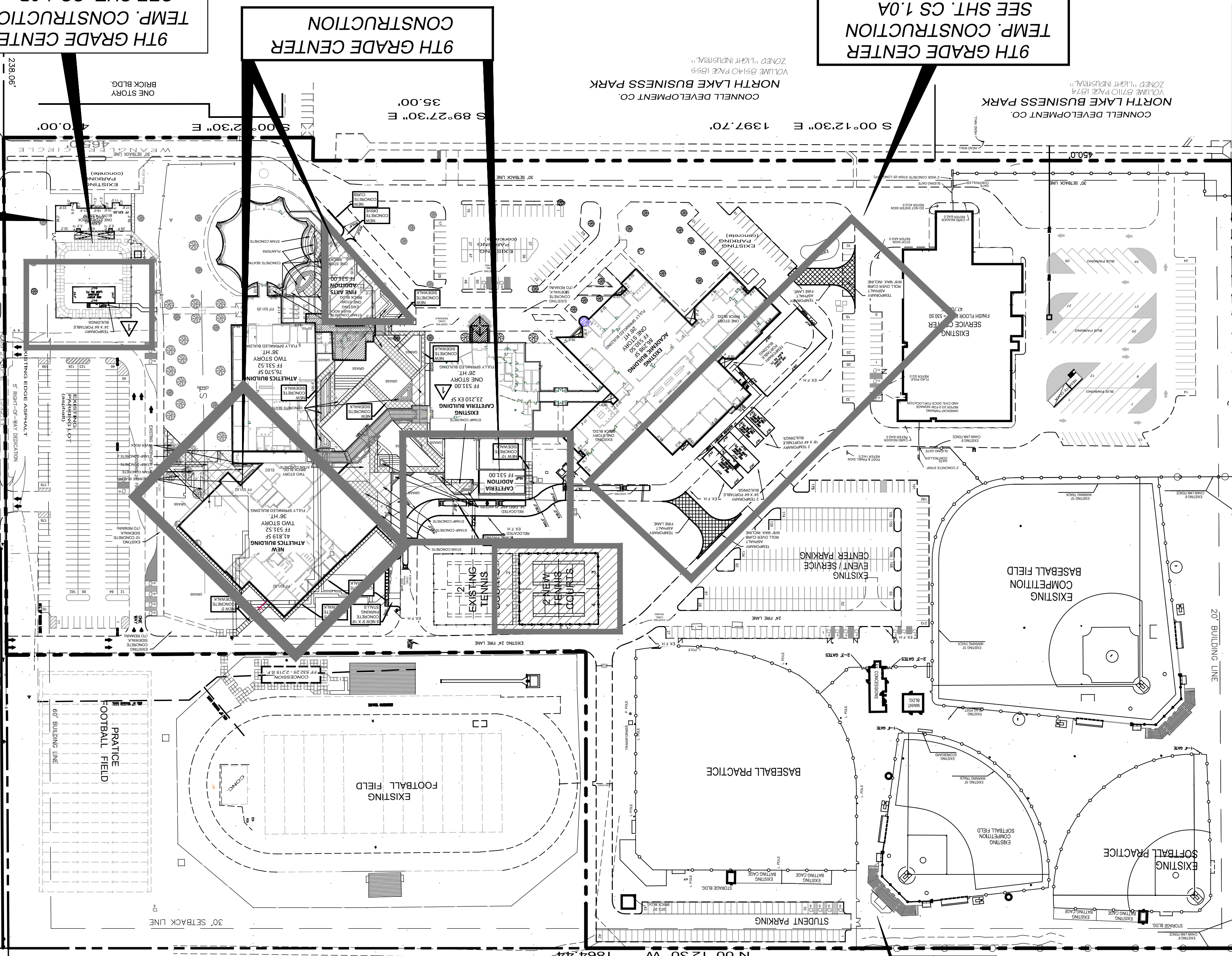


9TH GRADE CENTER
TEMP. CONSTRUCTION
SEE SHT. CS 1.0A

9TH GRADE CENTER
CONSTRUCTION
SEE SHT. CS 1.0B

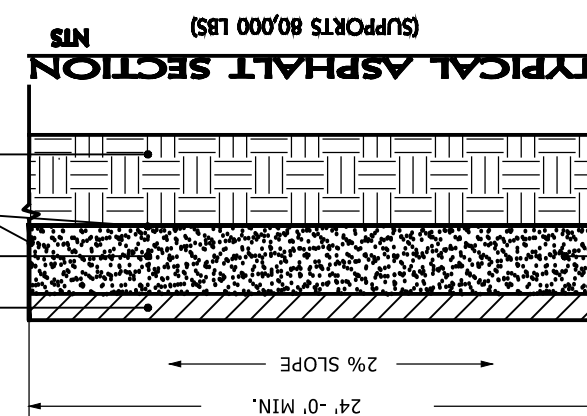
9TH GRADE CENTER
TEMP. CONSTRUCTION
SEE SHT. CS 1.0B

ANNEX



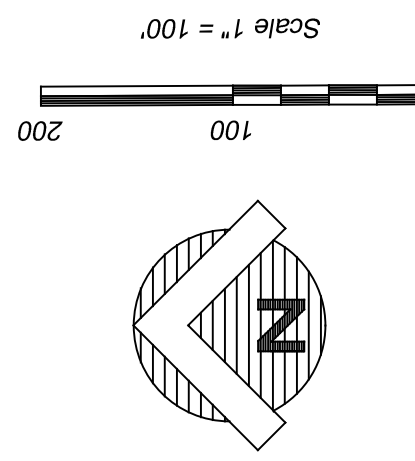
PORTABLE BUILDING NOTES

1. ALL PORTABLE BUILDINGS SHALL BE REMOVED UPON COMPLETION.
OF ALL ADDITIONS AND RENOVATIONS.
2. ALL TEMPORARY FIRELANES TO BE 8-INCHES OF BASE MATERIAL
OVER MIRAFI FABRIC ON COMPACTED SUBGRADE. SURFACE COURSE
SHALL BE 3-INCH ASPHALT.



GENERAL NOTES

1. STRIPING & SIGNAGE DIMENSIONS ARE FROM BACK OF CURB
& SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF COPPELL
REQUIREMENTS, TYP.



PARKING REQUIREMENTS	
9TH GRADE CENTER	8 X 36 = 288 TOTAL REQUIRED
BASEBALL / SOFTBALL COMPLEX	800/4 = 200 TOTAL REQUIRED
1 PER 4 IN AUDITORIUM (9'x18')	
1 PER 3 STADIUM SEATS (9'x18')	1000/3 = 334 TOTAL REQUIRED
500 SEATS FOR BASEBALL -	500 SEATS FOR SOFTBALL
SERVICE CENTER	
OFFICE SPACE 1 PER 300 SF	15000/300 = 50 TOTAL REQUIRED
WAREHOUSE 1 PER 1000 SF	32700/1000 = 33 TOTAL REQUIRED

BUILDING SQUARE FOOTAGE	
EXISTING 9TH GRADE CENTER	171,698 SF
NEW FINE ARTS ADDITIONS	13,553 SF
CAFETERIA ADDITIONS	2,553 SF
NEW ATHLETICS BUILDING	47,119 SF
GYM DEMOLITION	-42,513 SF
TOTAL FOR 9TH GRADE CENTER	186,809 SF
CONCESSIONS BUILDING	2,200 SF
BASEBALL / SOFTBALL COMPLEX	1,650 SF
AUX. BUILDINGS	1,661 SF
SERVICE CENTER	47,700 SF

PARKING TABULATIONS	
PARKING PROVIDED = VISITOR/STAFF REGULAR (9.0' X 18.0')	288
9TH GRADE CENTER VISITOR/STAFF HANDICAP (9.0' X 18.0') WITH STRIPED ACCESS	11
BASEBALL / VISITOR/STAFF REGULAR (9.0' X 18.0')	70
BASEBALL / VISITOR/STAFF HANDICAP (9.0' X 18.0') WITH STRIPED ACCESS	4
SERVICE CENTER VISITOR/STAFF REGULAR (9.0' X 18.0')	245
SERVICE CENTER VISITOR/STAFF HANDICAP (9.0' X 18.0') WITH STRIPED ACCESS	11
EMPLOYEE MAINTENANCE VEHICLES (10.0' X 20.0')	34
TOTAL PARKING PROVIDED	629
IN THESE CALCULATIONS	
BUS PARKING AND MAINTENANCE PARKING NOT INCLUDED	

GENERAL NOTES	
1. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONCEPTS, SPECIFICATIONS AND SPECIFICATIONS. THE PLANS INCLUDING ALL NOTES, THE CITY OF COPPELL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS.	
2. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.	
3. IF ANY UNFORESEEN PROBLEMS OR CONDITIONS ARE ENCOUNTERED IN THE CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER. THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.	
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES.	
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7. TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR.	
8. ALL GATES ACROSS FIRE LANES TO BE EQUIPPED WITH OPTICAL SYSTEM WITH KNOX OVERHEAD.	

SITE DATA SUMMARY TABLE	
EXISTING ZONING	COMMERCIAL PD-289-C
PROPOSED ZONING	PD-289-C
USE	HIGH SCHOOL (9TH GRADE CENTER)
REQUIRED SETBACK	51.7285 ACRES OR 2,253,293 SF
FRONT YARD SETBACK 30' STREET	41,819 SF
REAR YARD SETBACK 20' SETBACK	2,553 SF
BUILDING AREA (NEW TOTAL)	13,252 SF
EXISTING KITCHEN ADDITION	10.65%
TOTAL BUILDING AREA (FAR)	29.0' (1 STORY) MEASURED TO PEAK
NEW KITCHEN ADDITION HEIGHT	29.0' (1 STORY) MEASURED TO PEAK
NEW FINE ARTS BUILDING	35.4' (1 STORY) MEASURED TO PEAK

COPPELL 9TH GRADE CENTER
COPPELL MIDDLE SCHOOL WEST ADDITION
LOT 1, BLOCK 1 - 51.7285 ACRES
DALLAS COUNTY, TEXAS
SITUATED IN THE CORDELLA BOWEN SURVEY - ABSTRACT NO. 56
SCALE 1" = 100'

OVERALL SITE
PLAN
JOB
DATE
SHEET
CS 1.0
16242.0000
02.07.2017

Coppel ISD
9TH Grade Center
AT COPPELL MIDDLE SCHOOL WEST
1301 WRANGLER CIRCLE
COPELL TEXAS 75019

GLENN
ENGINEERING
T.B.P.E. FIRM REGISTRATION NO. F-303
IRVING, TEXAS 75062
PHONE 972-717-5151
FAX 972-717-2176



REVISIONS	DATE	DESCRIPTION
1	02/20/17	CITY COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

ISSUES
01 02/07/2017 100% FOR CONSTRUCTION

CORGAN
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