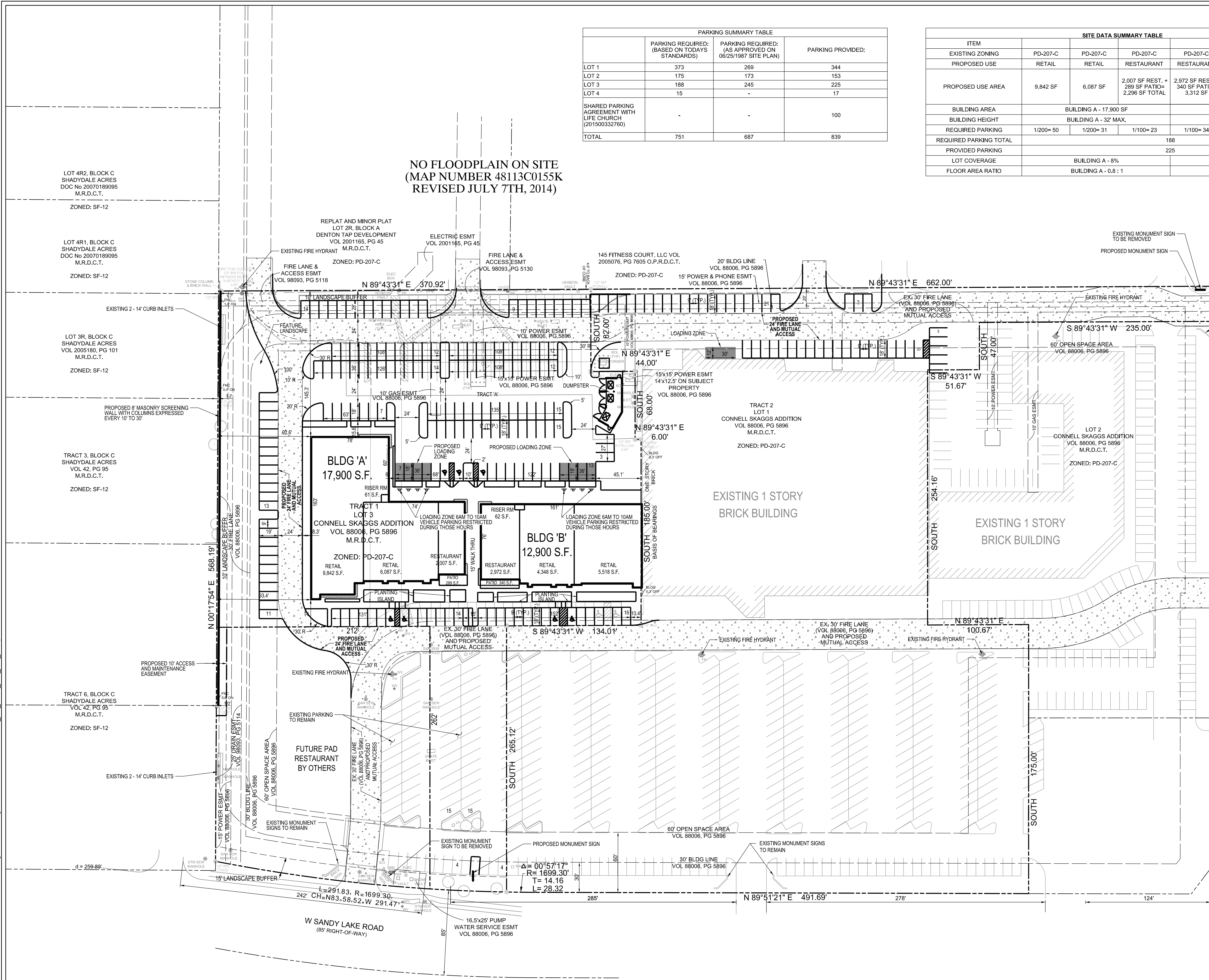


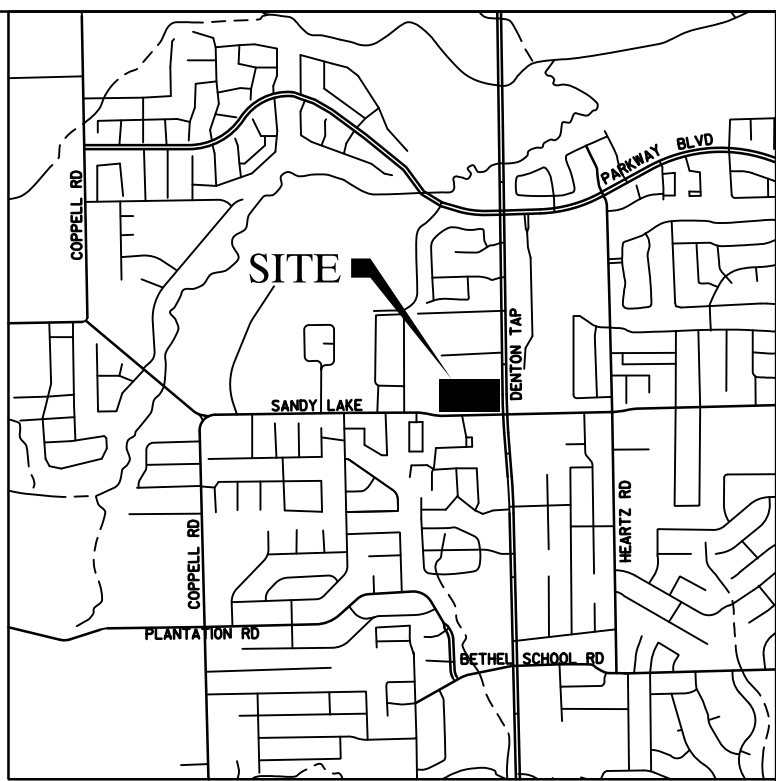
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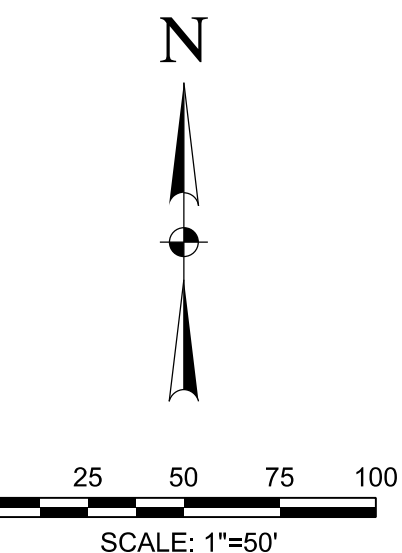
Approved Site Plan

PARKING SUMMARY TABLE			
	PARKING REQUIRED: (BASED ON TODAY'S STANDARDS)	PARKING REQUIRED: (AS APPROVED ON 06/25/1987 SITE PLAN)	PARKING PROVIDED:
LOT 1	373	269	344
LOT 2	175	173	153
LOT 3	188	245	225
LOT 4	15	-	17
SHARED PARKING AGREEMENT WITH LIFE CHURCH (201500332760)	-	-	100
TOTAL	751	687	839

SITE DATA SUMMARY TABLE						
ITEM	PD-207-C	PD-207-C	PD-207-C	PD-207-C	PD-207-C	PD-207-C
EXISTING ZONING	PD-207-C	PD-207-C	PD-207-C	PD-207-C	PD-207-C	PD-207-C
PROPOSED USE	RETAIL	RETAIL	RESTAURANT	RESTAURANT	RETAIL	RETAIL
PROPOSED USE AREA	9,842 SF	6,087 SF	2,007 SF REST. + 289 SF PATIO = 2,296 SF TOTAL	2,972 SF REST. + 340 SF PATIO = 3,312 SF	4,348 SF	5,518 SF
BUILDING AREA	BUILDING A - 17,900 SF			BUILDING B - 12,900 SF		
BUILDING HEIGHT	BUILDING A - 32' MAX.			BUILDING B - 32' MAX.		
REQUIRED PARKING	1/200= 50	1/200= 31	1/100= 23	1/100= 34	1/200= 22	1/200= 28
REQUIRED PARKING TOTAL	188					
PROVIDED PARKING	225					
LOT COVERAGE	BUILDING A - 8%			BUILDING B - 6%		
FLOOR AREA RATIO	BUILDING A - 0.8 : 1			BUILDING B - 0.6 : 1		



LOCATION MAP
N.T.S.



- PD CONDITIONS:
1. OFF PREMISE SIGNAGE
 2. PARKING SHORTAGE
 3. FRONT YARD LANDSCAPING DEFICIENCY
 4. LANDSCAPE DEFICIENCY OF 4,023 SQ. FT.
 5. 60' OPEN SPACE AREA TO BE REDUCED TO 10' ALONG THE NORTH AND WEST PROPERTY LINE AND 15' ALONG THE SOUTH PROPERTY LINE
 6. 18' DEEP DOUBLE PARKING ROWS
 7. EMPLOYEES REQUIRED TO PARK AT BACK OF BUILDINGS ON LOT 3
 8. PD 285-C CONNELL SKAGGS ADDITION, LOT 1 & PORTION OF LOT 3, WOODSIDE VILLAGE EXPANSION, WILL EXTEND THE REQUIRED 8' MASONRY WALL THE FULL LENGTH OF TRACT 6, BLOCK C SHADYDALE ACRES ALSO KNOWN AS, 112 SHADY DALE LANE COPPELL TEXAS.

LEGEND:

---	Ex F/O	EXISTING FIBER OPTIC
---	Ex TEL	EXISTING TELEPHONE LINE
---	Ex Gas	EXISTING GAS LINE
---	Ex SS	EXISTING SANITARY SEWER
---	Ex OHE	EXISTING OVERHEAD ELECTRIC
---	Ex UGE	EXISTING UNDERGROUND ELECTRIC
---	Ex W	EXISTING WATER LINE
---	460	EXISTING MAJOR CONTOUR LINE
---	461	EXISTING MINOR CONTOUR LINE
---		PROPERTY LINE
---		EASEMENT LINE
---		ASPHALT
---		POWER POLE
---		SANITARY SEWER MANHOLE
---		WATER VALVE
---		FIRE HYDRANT
---		WATER METER
---		PROPOSED FIRE LANE
---		EXISTING FIRE LANE TO BE ABANDONED
---		LOADING ZONE

SITE PLAN
CONNELL SKAGGS ADDITION
LOTS 1 & 3 (WOODSIDE VILLAGE) SITE PLAN
VOL. 88006, PG. 5896
9.4 ACRES
GEORGE JACK SURVEY, ABSTRACT NO. 694
CITY OF COPPELL, DALLAS COUNTY, TEXAS

FOR
356 DEVELOPMENT
BY

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TBPE FIRM #F-312

OWNER / DEVELOPER:
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WOODSIDE VILLAGE
SITE PLAN
COPPELL, TEXAS



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Revision No.	Date	Description

PRELIMINARY
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RUSTY R. GLOVER 86257
NAME P.E. NO.
DATE 1/18/2017
TBPE FIRM #F-312

Project No.:	31213
Issued:	1/18/2017
Drawn By:	CAD
Checked By:	RRG
Scale:	AS NOTED
Sheet Title	SITE PLAN

C1.01
Sheet Number